

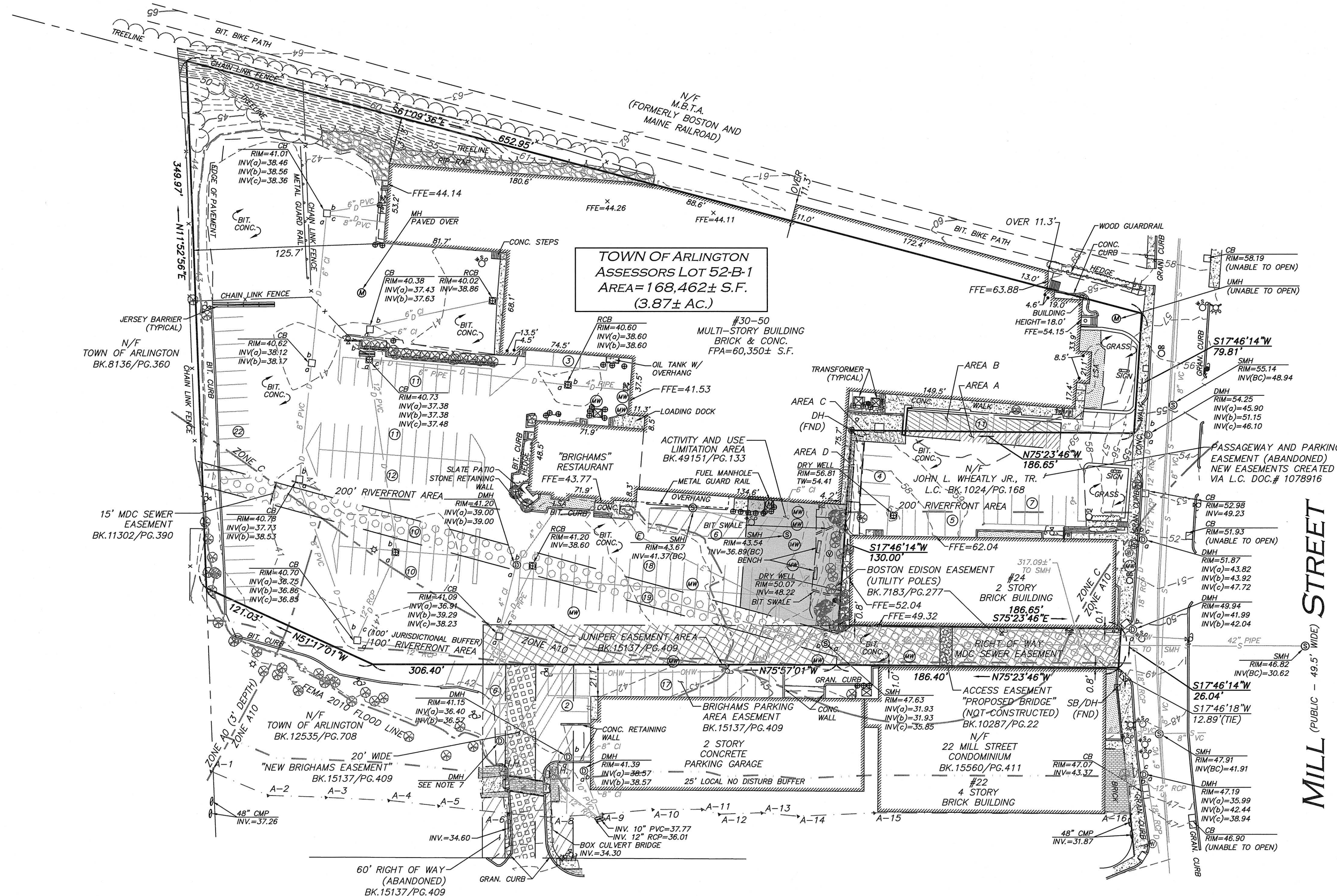


THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

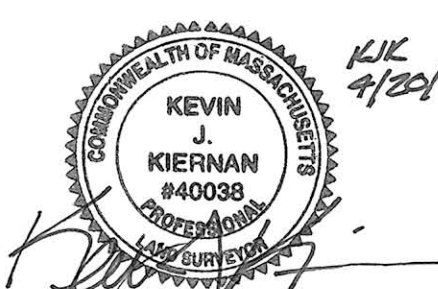
-TOWN OF ARLINGTON ASSESSORS MAP 52
-PLAN 453 OF 1968
-BOOK 52700 PAGE 523

- PLAN 281 OF 1967
- PLAN 1082 OF 1980
- PLAN 470 (A OF 8) OF 1984

1. NORTH ARROW TAKEN FROM PLAN 453 OF 1968.
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
3. VERTICAL DATUM IS TOWHN OF ARLINGTON BASE.
4. CORRECTION INTERVAL IS ONE FOOT (1').
5. THE RESOURCE OF PLANS (FLAGS 16 THRU A-16) WAS DELINEATED ON JUNE 25, 2009 BY ALLEN & MAJOR ASSOCIATES, INC.
6. THE 100 YEAR FLOOD PLAIN ELEVATIONS SHOWN HEREON ARE TAKEN FROM THE PRELIMINARY FEMA FLOOD INSURANCE RATE MAPS COMMUNITY PANEL NUMBER 250177 0416 E RELEASED SEPTEMBER 28, 2007.
7. LOCATION TAKEN FROM PLAN ENTITLED "PLAN OF LAND IN ARLINGTON, MA" PREPARED BY LEE BURNER JR. DATED DECEMBER 21, 1892. RECORDED AS PLAN# 822 OF 1983 AT THE MIDDLESEX (SOUTH) COUNTY REGISTRY OF DEEDS.



WE HEREBY CERTIFY THAT THIS PLAN IS THE
RESULT OF AN ACTUAL ON THE GROUND
SURVEY PERFORMED ON OR BETWEEN JUNE
22, 2009 AND JUNE 26, 2009.



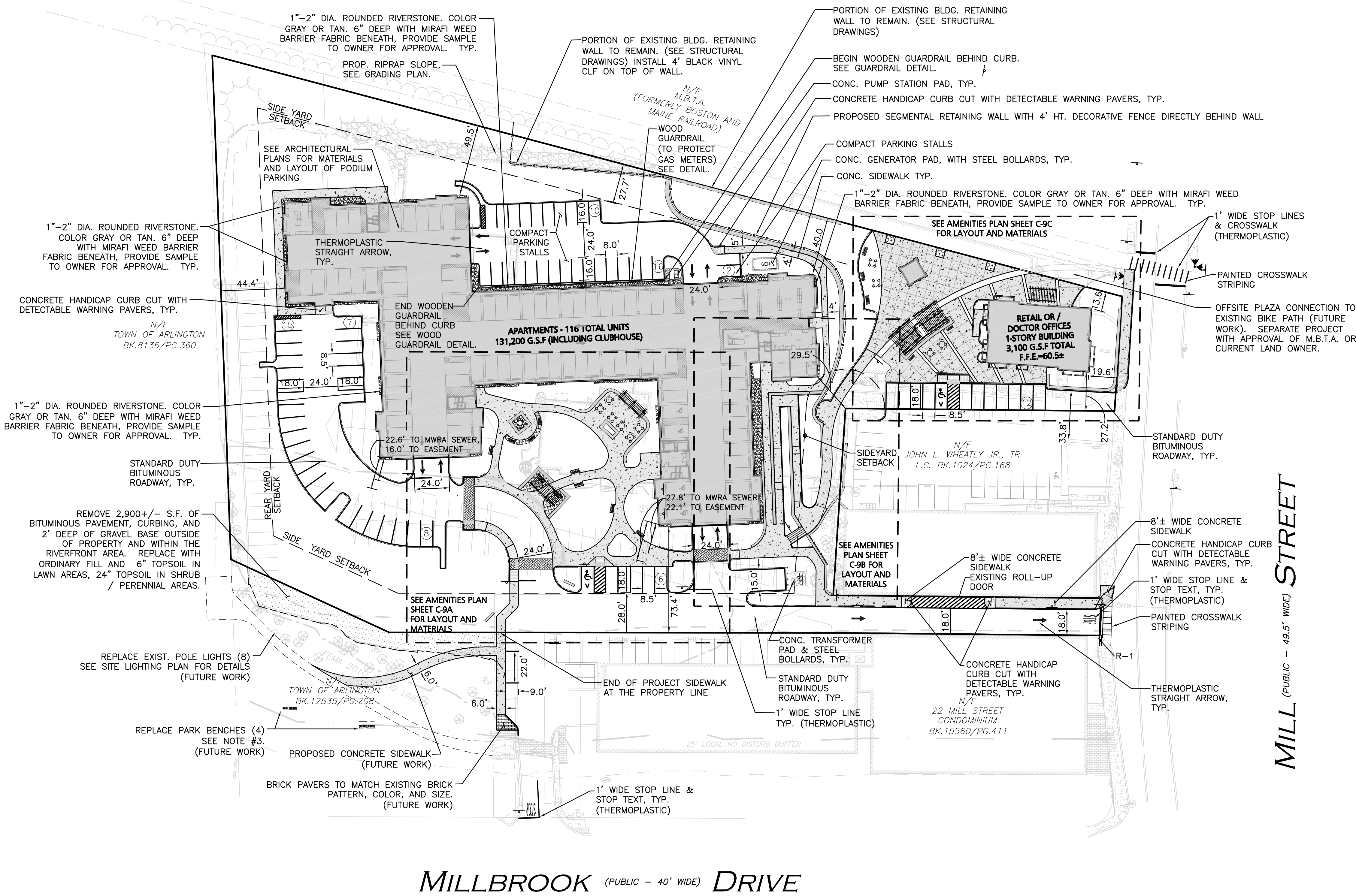
PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.

| <u>PARKING SUMMARY</u> (ON SITE) | |
|-------------------------------------|-----|
| STANDARD STALLS | 120 |
| HANDICAPPED STALLS | 2 |
| TOTAL STALLS | 122 |

DRILL HOLE (DH)
 STONE BOUND (SB)
 DRAIN MANHOLE (DMH)
 SEWER MANHOLE (SMH)
 MISC. MANHOLE (MH)
 WATER MANHOLE (WMH)
 CATCH BASIN (CB)
 ROUND CATCH BASIN (RCB)
 INVERT (IW)
 UTILITY POLE
 UTILITY POLE W/ RISER
 UTILITY POLE W/ LIGHT
 FIRE HYDRANT
 FIRE STANDPIPE
 WATER GATE
 GAS GATE
 BOLLARD
 INVERT (INV)
 AREA DRAIN
 LIGHT
 TREE
 SIGN
 TRANSFORMER
 MONITOR WELL
 FIRE ALARM BOX
 CLEANCUT
 HANDICAP RAMP
 BANK FLAG
 HAND HOLE
 HANDICAPPED PARKING SPACE
 IRRIGATION CONTROL VALVE
 PARKING SPACE COUNT
 1' CONTOUR
 5' CONTOUR
 CONCRETE
 LANDSCAPED AREA (LSA)
 RIP-RAP
 BUILDING
 TOP OF BANK
 EASEMENT LINE
 PROPERTY LINE
 ABUTTERS LINE
 CONCRETE RETAINING WALL
 STONE RETAINING WALL
 TREE LINE
 EDGE OF PAVEMENT
 CURB
 FLOOD LINE
 25' LOCAL NO DISTURB
 BUFFER
 100' RIVERFRONT AREA/
 100' JURISDICTIONAL BUFFER
 200' RIVERFRONT AREA
 FLOOD LINE - FEMA 2010
 CHAIN LINK FENCE
 GUARDRAIL
 OVERHEAD WIRES
 SEWER LINE
 DRAIN LINE
 ELECTRIC LINE
 BOTTOM CENTER
 REINFORCED CONCRETE PIPE
 POLYVINYL CHLORIDE PIPE
 TOP OF WATER
 CONCRETE
 GRANITE
 FOUND
 NOW OR FORMERLY
 BOOK
 PAGE
 PLAN BOOK
 PLAN
 FOOTPRINT AREA
 CERTIFICATE OF TITLE
 LAND COURT
 LAND COURT CASE
 BITUMINOUS
 CAST IRON PIPE
 CORRUGATED METAL PIPE
 STONE BOUND W/ DRILL HOLE
 VITRIFIED CLAY PIPE
 FINISHED FLOOR ELEVATION

Ex-1

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| LEGEND: | |
|--------------------------|-------|
| EXISTING PROPERTY LINE | --- |
| SIGN | — |
| BOLLARD | • |
| BUILDING | — |
| BUILDING OVERHANG | --- |
| BUILDING ARCHITECTURE | — |
| CURBING | --- |
| RETAINING WALL | --- |
| PARKING STRIPING | --- |
| ROADWAY STRIPING | --- |
| TRAFFIC ARROWS | → |
| HEAVY DUTY CONCRETE | --- |
| HEAVY DUTY PAVEMENT | --- |
| CONCRETE SIDEWALK | --- |
| PAVER SIDEWALK | --- |
| ROUNDED RIVERSTONE | --- |
| ADA ACCESSIBLE RAMP | --- |
| ADA DET. WARNING SURFACE | --- |
| SNOW STORAGE | --- |
| SETBACK LINE | --- |
| BASELINE | --- |
| BASELINE DATA LABEL | 10 |
| BASELINE STATIONING | 10+00 |
| PARKING COUNT | 10 |
| CHAIN LINK FENCE | --- |
| DECORATIVE FENCE | --- |
| TRANSFORMER | --- |
| SOLID YELLOW CENTER LINE | SYCL |
| STOP LINE | SL |
| PRECAST CONCRETE CURB | PCC |
| VERTICAL GRANITE CURB | VGC |
| CAPE COD BERM | CCB |

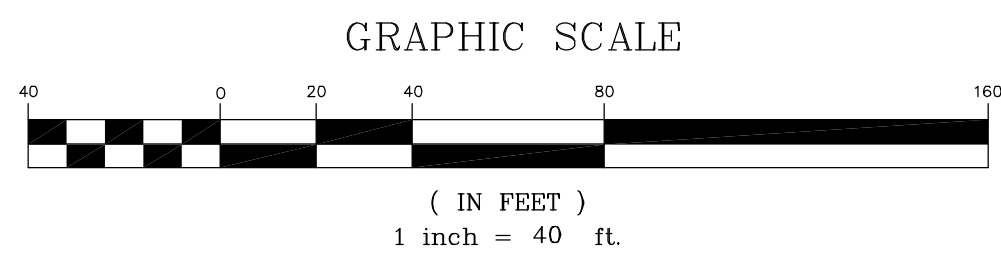
- NOTES:
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 - BENCHES AT EXISTING OFFSITE PARK TO THE SOUTH OF THE SITE TO BE FROM LANDSCAPE FORMS; MODEL: VILLAGE GREEN BENCH WITH END ARMS. 25" X 32" X 10". POWERCOAT COLOR SELECTED BY OWNER. BENCHES TO BE SURFACE MOUNTED PER MANUFACTURERS RECOMMENDATIONS. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.

| LAND USAGE TABLE - MAJOR BUSINESS DISTRICT (B2A) USE: APARTMENT HOUSE | | | |
|--|--|---|--------------------------------------|
| ITEM | EXISTING | PROPOSED | REQUIRED/ALLOWED |
| LOT AREA (S.F.) | 168,462 S.F. (3.87 ACRES) | 168,462 S.F. (3.87 ACRES) | 20,000 S.F. |
| FRONTAGE (FEET) | 79.81' (MILL STREET) 26.04' (MILL STREET) | 79.81' (MILL STREET) 26.04' (MILL STREET) | 100' |
| FLOOR AREA RATIO | 0.39 | 0.80 | 0.80 (MAXIMUM) |
| LOT AREA PER DWELLING UNIT (S.F.) | N.A. | 1,452 S.F. | 1,450 S.F. (MINIMUM) |
| FRONT YARD SETBACK (FEET) | 31.3' | 207.2' | 15' |
| SIDE YARD SETBACK (FEET) | 11.3' (OVER PL) | 29.5' | 10+(L/10)=27.2' (SEE CALC. BELOW) |
| REAR YARD SETBACK (FEET) | 125.7' | 44.4' | 30' |
| BUILDING HEIGHT (STORIES) | 1 & 2 STORIES | 4 STORIES RESIDENTIAL 1 STORY PODIUM PARKING | 3 STORIES (MAXIMUM) |
| BUILDING HEIGHT (FEET) | N.A. | 54.6' (SEE CALC. BELOW) | 35' (MAXIMUM) |
| OPEN SPACE—LANDSCAPE (% G.F.A.) | 11.1% | 63.4% | 10% (MINIMUM) |
| OPEN SPACE—USABLE (% G.F.A.) | 0% | 28.0% | 25% (MINIMUM) |
| PARKING AREA LANDSCAPE | 0% | 11.6% | 8% |

LENGTH OF BUILDING AT STREET FRONTAGE (L)= 171.8'
HIGHEST POINT OF THE ROOF (H)= 107.6'
AVERAGE GRADE OF THE CURB LINE ALONG MILL STREET FRONTAGE=53.0'
BUILDING HEIGHT = 107.6' - 53.0' = 54.6'
SIDE YARD SETBACK = 10+(L/10) = 10 + (171.8'/10) = 27.2'

| LAND USAGE TABLE - MAJOR BUSINESS DISTRICT (B2A) USE: RETAIL OR MEDICAL OFFICE | | | |
|---|--|--|--------------------------------------|
| ITEM | EXISTING | PROPOSED | REQUIRED/ALLOWED |
| LOT AREA (S.F.) | 168,462 S.F. (3.87 ACRES) | 168,462 S.F. (3.87 ACRES) | 0 S.F. |
| FRONTAGE (FEET) | 79.81' (MILL STREET) 26.04' (MILL STREET) | 79.81' (MILL STREET) 26.04' (MILL STREET) | 50' |
| FRONT YARD SETBACK (FEET) | 31.3' | 19.6' | 0 S.F. |
| SIDE YARD SETBACK (FEET) | 11.3' (OVER PL) | 13.6' | 0 S.F. |
| REAR YARD SETBACK (FEET) | 125.7' | 528.8' | 10+(L/10)=15.4' 10+(50'/10)=15.4' |
| BUILDING HEIGHT (STORIES) | 1 & 2 STORIES | 1 STORY | 3 STORIES |
| BUILDING HEIGHT (FEET) | N.A. | <35' | 35' |
| OPEN SPACE—LANDSCAPE (% G.F.A.) | 11.1% | 63.4% | 10% |
| OPEN SPACE—USABLE (% G.F.A.) | 0% | 28.0% | 0% |

| OFF-STREET PARKING SUMMARY | | | | |
|---|-----------------------------|-----------------------|----------------------|-------------------|
| USE: APARTMENT HOUSE (PER ARTICLE 8, SECTION 8.01, PAGE 87) | | | | |
| 1.00 SPACE | PER STUDIO | x(18 STUDIO) | = | 18 |
| 1.15 SPACE | PER ONE BEDROOM UNIT | x(35 ONE BDRM) | = | 40 |
| 1.50 SPACE | PER TWO BEDROOM UNIT | x(63 TWO BDRM) | = | 95 |
| 2.00 SPACE | PER THREE+ BEDROOM UNIT | x(0 THREE+ BDRM) | = | 0 |
| USE: PROPOSED RETAIL (PER ARTICLE 8, SECTION 8.01, PAGE 87) | | | | |
| 1.00 SPACE | PER 300 S.F. OF FLOOR SPACE | x(3,100 S.F.) | = | 11 |
| (OR) | | | | |
| PROPOSED MEDICAL OFFICES (PER ARTICLE 8, SECTION 8.01, PAGE 88) | | | | |
| 4.0 SPACES | PER DOCTOR (3 DOCTORS X 4) | = | 12 | |
| SITE TOTAL OFF-STREET PARKING REQUIREMENT | | | | |
| = 165 | | | | |
| REQUIRED: 6 TOTAL PARKING STALLS SHALL BE ACCESSIBLE (MINIMUM OF 2 ACCESSIBLE STALLS SHALL BE VAN ACCESSIBLE) | | | | |
| PROVIDED: 6 TOTAL ACCESSIBLE PARKING STALLS INCLUDING 4 VAN STALLS | | | | |
| REQUIRED BICYCLE PARKING: 165 PARKING STALLS/ 15= 11 BICYCLE STALLS | | | | |
| PROVIDED BICYCLE PARKING: 3 BICYCLE RACKS OUTSIDE BUILDING & 1 BICYCLE RACK INSIDE BUILDING FOR 16 BICYCLES TOTAL | | | | |
| COMPACT STALLS COMPRISE 18.3% OF THE TOTAL APARTMENT HOUSE PARKING | | | | |
| 153 APARTMENT HOUSE SPACES, 28 COMPACT = 18.3% | | | | |
| | STANDARD (8.5' x 18') | COMPACT (8' x 16') | ACCESSIBLE SPACES | TOTAL PROVIDED |
| STRUCTURED PODIUM PARKING | 85 | 0 | 4 | 89 |
| SURFACE | 46 | 28 | 2 | 76 |
| TOTAL SITE PARKING | 131 | 28 | 6 | 165 |



Mill Street
Residential &
Retail
Development

30-50 Mill Street
Arlington, MA

WP East
Development
Enterprises, LLC

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA

ALLEN & MAJOR
ASSOCIATES, INC.

ALLEN & MAJOR ASSOCIATES, INC.
100 CONCORD AVENUE
CONCORD, MA 01742
TEL: 978.352.0000
WWW.ALLENMAJOR.COM

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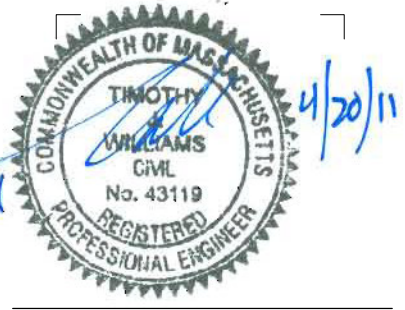
Permit - GMP Set

NOT FOR
CONSTRUCTION

| | |
|---------------------|----------|
| drawing by: | BDJ, RB |
| drawing checked by: | TJW |
| drawing scale: | 1"=40' |
| drawing date: | 03.15.10 |
| drawing revision: | |
| project number: | 1670-01 |

| rev. | description | date |
|------|-------------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |
| 11 | | |

| | | |
|----|-------------------------------|----------|
| 11 | PERMIT-GMP SET | 04-20-11 |
| 10 | MVRA 8M PERMIT | 03-08-11 |
| 9 | 50% ARS SUBMISSION | 03-04-11 |
| 8 | SECTION 12A(1) SPECIAL PERMIT | 02-17-11 |
| 7 | PER TOWN COMMENTS | 01-11-11 |
| 6 | PER CON. COM. COMMENTS | 12-13-10 |
| 5 | PER PD COMMENTS | 12-08-10 |
| 4 | PER TOWN COMMENTS | 11-17-10 |
| 3 | PER TOWN COMMENTS | 10-27-10 |
| 2 | PER TOWN COMMENTS | 10-20-10 |
| 1 | PER TOWN COMMENTS | 06-16-10 |



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

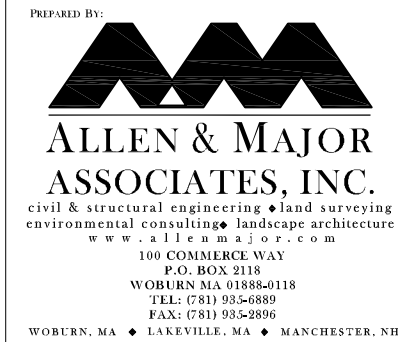
Proposed
Layout Plan

Mill Street
Residential &
Retail
Development

30-50 Mill Street
Arlington, MA

WP East
Development
Enterprises, LLC

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA



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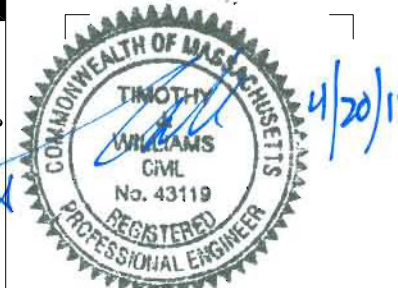
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CONSTRUCTION

drawing by: BDJ, RB
drawing checked by: TJW
drawing scale: 1"=40'
drawing date: 03.15.10
drawing revision:
project number: 1670-01
rev. description date

| rev. | description | date |
|------|--------------------------------|----------|
| 1 | PERMIT-GMP SET | 04-20-11 |
| 2 | MVRA 8M PERMIT | 03-08-11 |
| 3 | 50% ARB SUBMISSION | 03-04-11 |
| 4 | SECTION 8.12(1) SPECIAL PERMIT | 02-17-11 |
| 5 | PER TOWN COMMENTS | 01-11-11 |
| 6 | PER CON. COM. COMMENTS | 12-13-10 |
| 7 | PER PD COMMENTS | 12-08-10 |
| 8 | PER TOWN COMMENTS | 11-17-10 |
| 9 | PER TOWN COMMENTS | 10-27-10 |
| 10 | PER TOWN COMMENTS | 10-20-10 |
| 11 | PER TOWN COMMENTS | 06-16-10 |

| | | |
|----|--------------------------------|----------|
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| 9 | 50% ARB SUBMISSION | 03-04-11 |
| 8 | SECTION 8.12(1) SPECIAL PERMIT | 02-17-11 |
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| 6 | PER CON. COM. COMMENTS | 12-13-10 |
| 5 | PER PD COMMENTS | 12-08-10 |
| 4 | PER TOWN COMMENTS | 11-17-10 |
| 3 | PER TOWN COMMENTS | 10-27-10 |
| 2 | PER TOWN COMMENTS | 10-20-10 |
| 1 | PER TOWN COMMENTS | 06-16-10 |



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

Proposed
Grading &
Drainage Plan

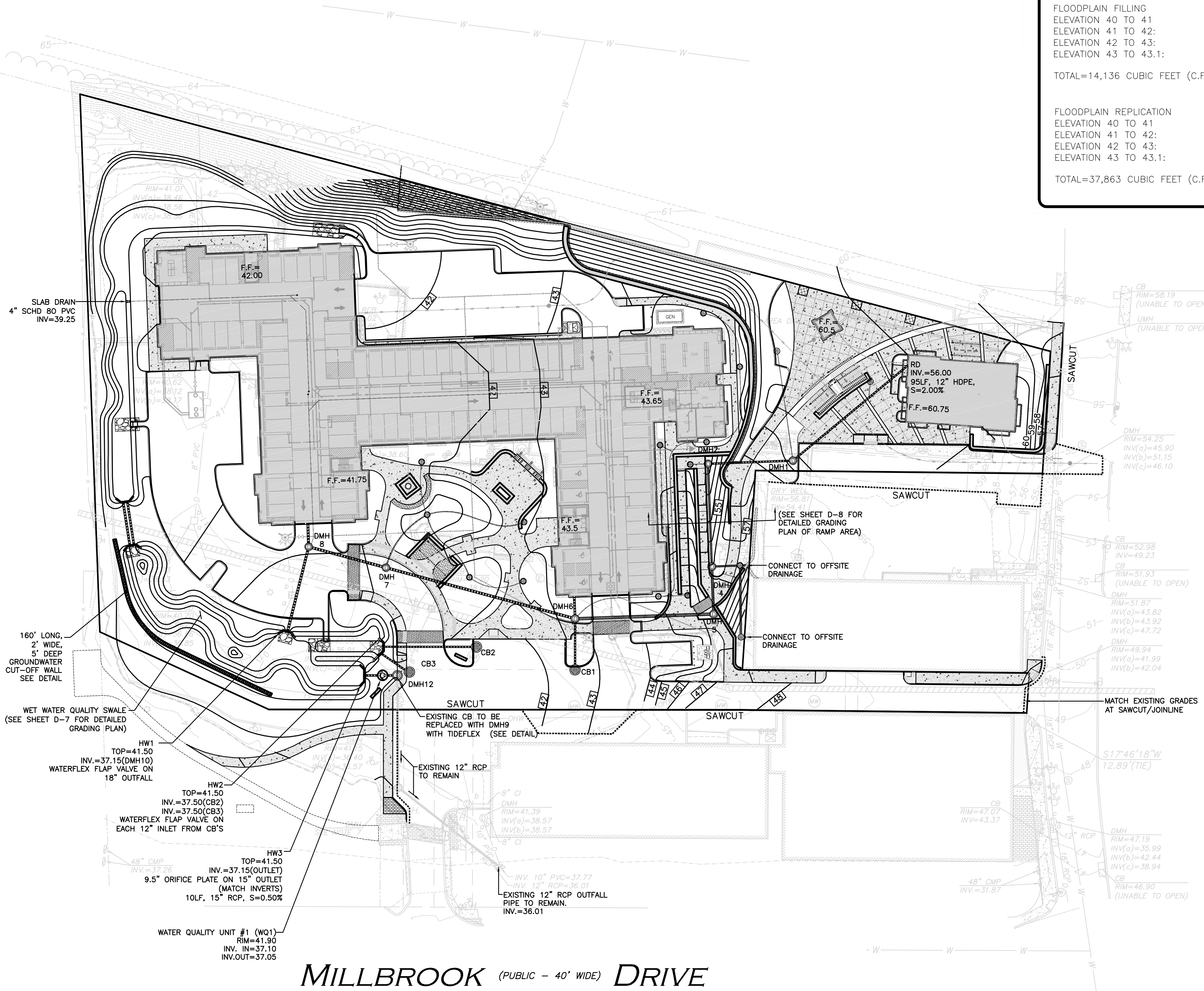
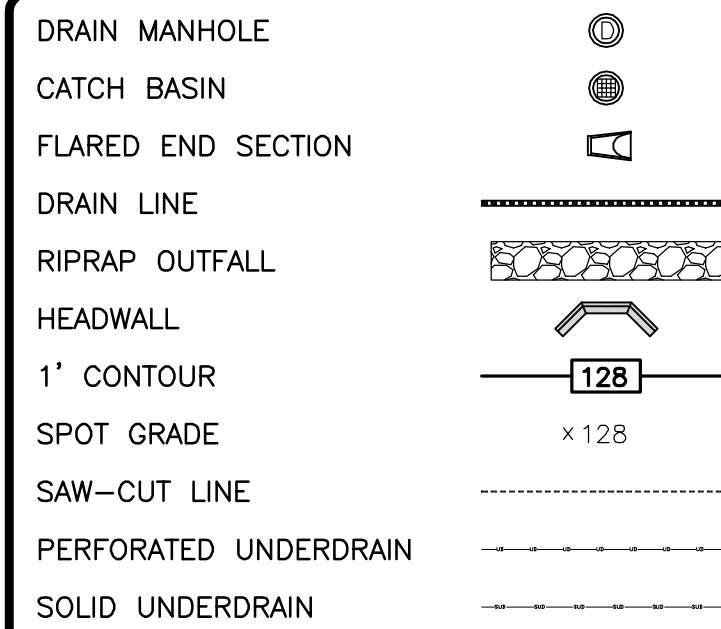
C-3

FLOOD PLAIN CALCULATIONS

FLOODPLAIN FILLING
ELEVATION 40 TO 41: $(0+6,819)/2 = 3,410$ C.F.
ELEVATION 41 TO 42: $(6,819+5,125)/2 = 5,972$ C.F.
ELEVATION 42 TO 43: $(5,125+3,659)/2 = 4,392$ C.F.
ELEVATION 43 TO 43.1: $((3,659+3,578)/2)*0.1 = 362$ C.F.
TOTAL=14,136 CUBIC FEET (C.F.)

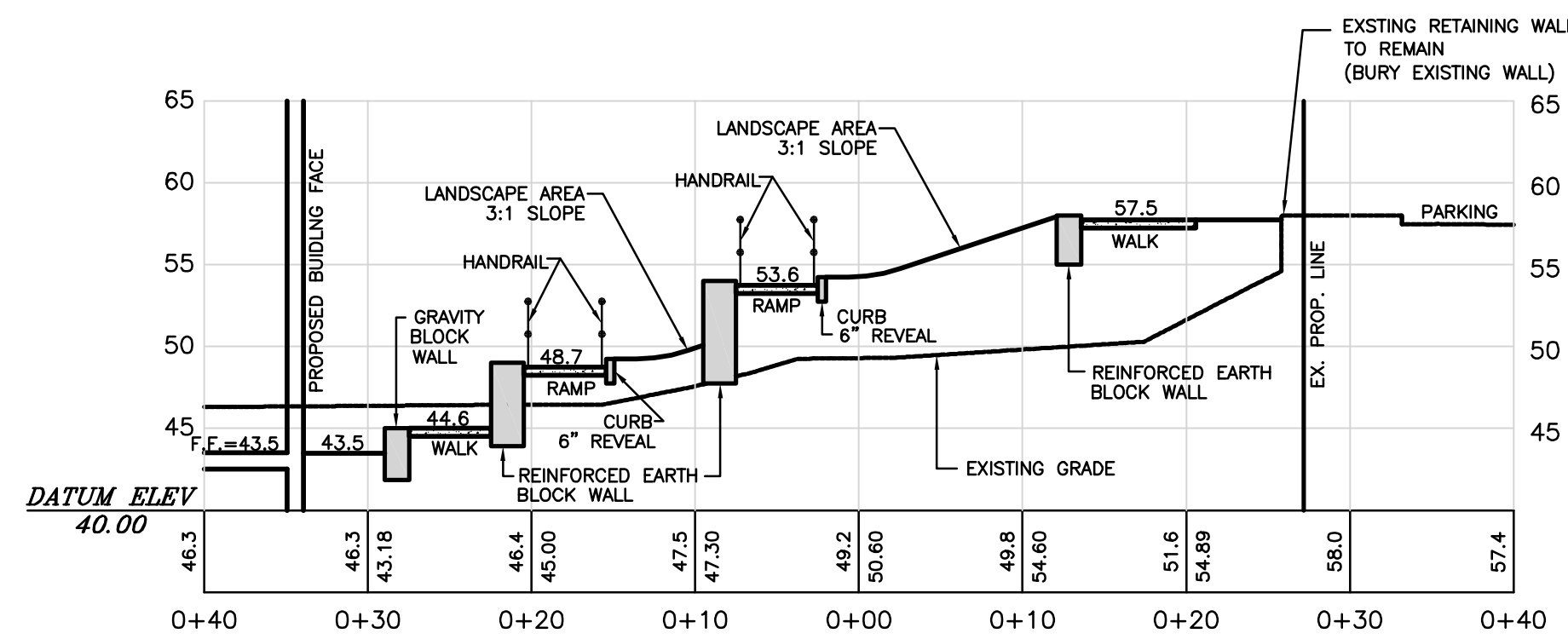
FLOODPLAIN REPLACEMENT
ELEVATION 40 TO 41: $(0+17,605)/2 = 8,802$ C.F.
ELEVATION 41 TO 42: $(17,605+10,310)/2 = 13,957$ C.F.
ELEVATION 42 TO 43: $(10,310+16,531)/2 = 13,420$ C.F.
ELEVATION 43 TO 43.1: $((16,531+17,148)/2)*0.1 = 1,684$ C.F.
TOTAL=37,863 CUBIC FEET (C.F.)

LEGEND:



MILLBROOK (PUBLIC - 40' WIDE) DRIVE

MILL STREET (PUBLIC - 49.5' WIDE)



PEDESTRIAN PATH CROSS SECTION

HORIZONTAL - 1"=10'
VERTICAL - 1"=10'

PROPOSED DRAINAGE MANHOLES

| STRUCT. | RIM | INVERT IN | INVERT IN | INVERT IN | INVERT OUT | LENGTH | SLOPE | DIA. | MATERIAL |
|---------|-------|--------------|-------------|-------------|------------|---------------------------|-------|------|----------|
| DMH1 | 60.50 | 54.00(AD) | 54.00(AD) | 54.00(ROOF) | 47.00 | 51 | 2.00% | 12" | HDPE |
| DMH2 | 51.50 | 48.00(AD) | 45.98(DMH1) | - | 41.93 | 63 | 2.00% | 12" | HDPE |
| DMH3 | - | - | - | - | - | - | - | - | - |
| DMH4 | 56.00 | 40.67(DMH2) | 46.50(AD) | - | 40.17 | 27 | 2.00% | 15" | HDPE |
| DMH5 | 46.50 | 39.63(DMH4) | - | - | 39.13 | 86 | 0.50% | 18" | HDPE |
| DMH6 | 43.50 | 39.20(RF/AD) | 38.70(CB1) | 38.70(DMH5) | 38.60 | 125 | 0.80% | 18" | HDPE |
| DMH7 | 41.10 | 37.60(DMH6) | 37.60(AD) | - | 37.60 | 47 | 0.50% | 18" | HDPE |
| DMH8 | 41.00 | 38.00(UD) | 37.37(DMH7) | 37.37(RD) | 37.37 | 55 | 0.40% | 18" | HDPE |
| DMH9* | 41.95 | 37.01(WO1) | - | - | 36.91 | EXISTING 12" OUTFALL PIPE | - | - | - |

*DMH9 USES 12" TIDEFLEX FLAP VALVE ON THE INLET PIPE.

PROPOSED WATER QUALITY INLETS

| STRUCTURE | RIM | INVERT OUT | LENGTH | SLOPE | DIA. | MATERIAL |
|-----------|-------|------------|--------|-------|------|----------|
| CB1* | 42.60 | 39.00 | 30 | 1.00% | 12" | HDPE |
| CB2* | 41.55 | 38.10 | 60 | 1.00% | 12" | HDPE |
| CB3* | 41.15 | 37.71 | 21 | 1.00% | 12" | HDPE |

*CONTECH CDS2015-4 (OR APPROVED EQUAL)

PROPOSED WATER QUALITY STRUCTURES

| STRUCTURE | RIM | INV. IN | INV. OUT | LENGTH | SLOPE | DIA. | MAT. |
|-----------|-------|---------|----------|--------|-------|------|------|
| WO1* | 41.90 | 37.10 | 37.05 | 5' | 0.50% | 15" | RCP |

*CONTECH CDS3020 (OR APPROVED EQUAL)

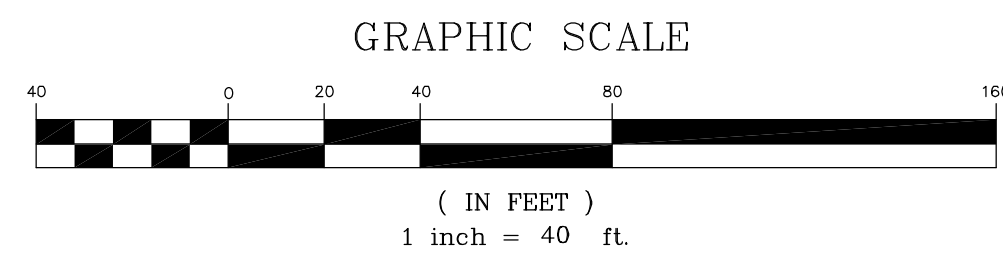
APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

- SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS
 - MINIMUM LOT FRONTAGE
 - MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(1) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



Mill Street
Residential &
Retail
Development

30-50 Mill Street
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One Concord Farms
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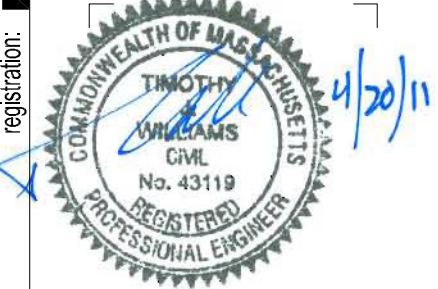
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Permit - GMP Set

NOT FOR
CONSTRUCTION

| | | |
|----------------------|---------------------|----------|
| drawing information: | drawing by: | BDJ, RB |
| | drawing checked by: | TJW |
| | drawing scale: | 1"=40' |
| | drawing date: | 03.15.10 |
| | drawing revisions: | |
| | project number: | 1670-01 |
| rev. | description | date |

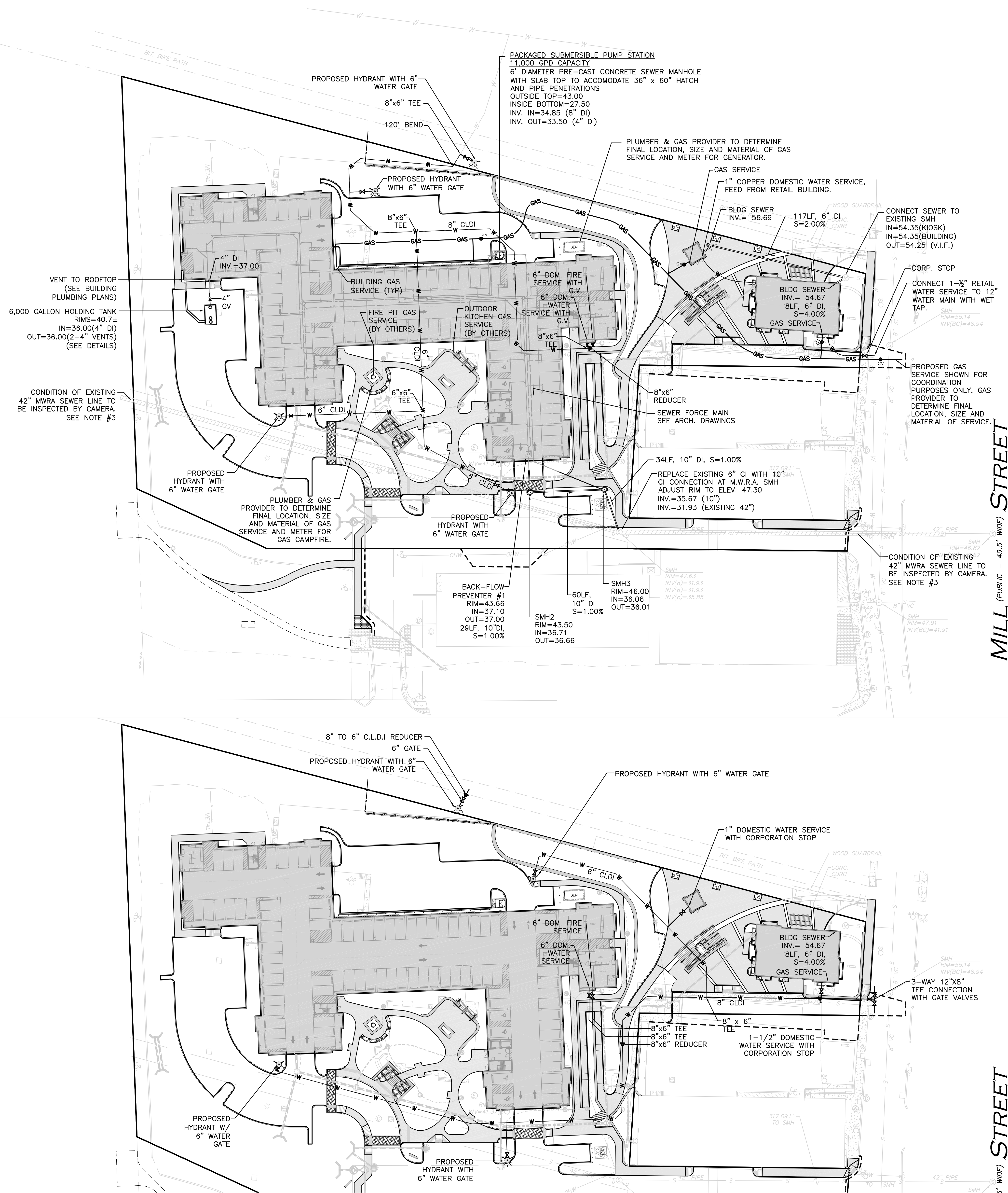
| | | |
|----|---------------------------------|----------|
| 11 | PERMIT-GMP SET | 04-20-11 |
| 10 | MWRA RM PERMIT | 03-08-11 |
| 9 | 50% ARB SUBMISSION | 03-04-11 |
| 8 | SECTION 8.12A(1) SPECIAL PERMIT | 02-17-11 |
| 7 | PER TOWN COMMENTS | 01-11-11 |
| 6 | PER CON. COM. COMMENTS | 12-13-10 |
| 5 | PER PD COMMENTS | 12-08-10 |
| 4 | PER TOWN COMMENTS | 11-17-10 |
| 3 | PER TOWN COMMENTS | 10-27-10 |
| 2 | PER TOWN COMMENTS | 10-20-10 |
| 1 | PER TOWN COMMENTS | 06-16-10 |



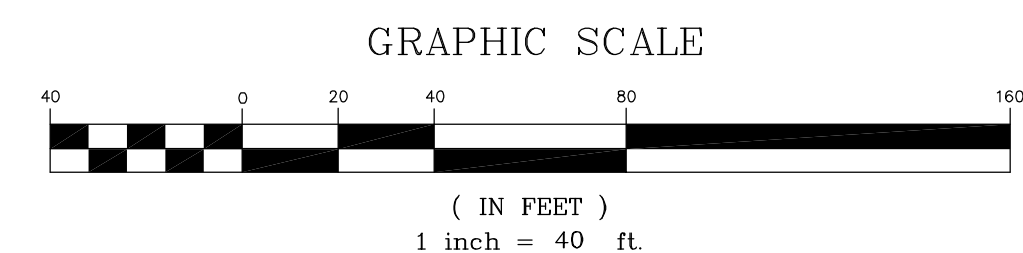
PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

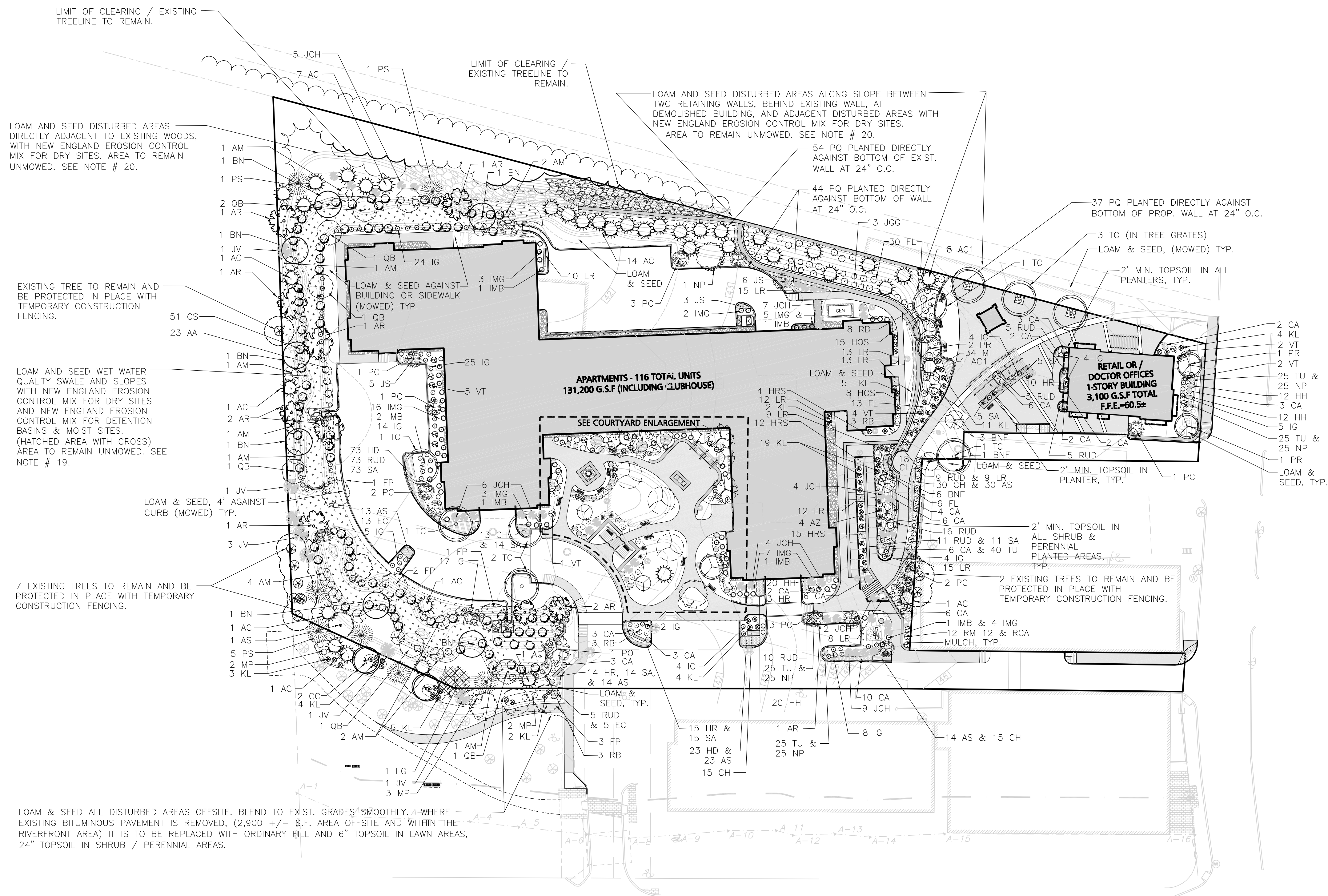
Proposed
Utility Plan

C-4



ALTERNATE WATERLINE FOR PRICING





MILLBROOK (PUBLIC - 40' WIDE) DRIVE

PLANTING SCHEDULE- TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | COMMENTS |
|------------------------------------|----------|---|---------------------------------------|--------------|----------|-----------------------------------|
| DECIDUOUS TREES | | | | | | |
| AR | 9 | ACER RUBRUM 'RED SUNSET' | RED MAPLE | 3.5" CAL. | AS SHOWN | B&B |
| AS | 1 | ACER SACCHARUM 'CRESCENDO' | CRESCENDO SUGAR MAPLE | 2.5" CAL. | AS SHOWN | B&B, MULTI-STEMMED 3 STEM MIN. |
| BN | 7 | BETULA NIGRA 'DURA HEAT' | DURA HEAT RIVER BIRCH | 10'-11" HT | AS SHOWN | B&B, MULTI-STEMMED 3 STEM MIN. |
| BNF | 14 | BETULA NIGRA 'FOX VALLEY' | RIVER BIRCH FOX VALLEY | 3" CAL. | AS SHOWN | B&B |
| CC | 2 | CARPINUS CAROLINIANA | AMERICAN HORNBEAM | 3.5" CAL. | AS SHOWN | B&B |
| FP | 7 | FRAXINUS PENNSYLVANICA 'SUMMIT' | GREEN ASH | 3.5" CAL. | AS SHOWN | B&B |
| FP1 | 1 | FRAXINUS PENNSYLVANICA 'SUMMIT' | GREEN ASH | 4" CAL. | AS SHOWN | B&B SEEDLESS |
| NP | 1 | NYSSA SYLVATICA (MALE) | BLACK SUM | 3.5" CAL. | AS SHOWN | B&B |
| QB | 7 | QUERCUS BICOLOR | SWAMP WHITE OAK | 3" CAL. | AS SHOWN | B&B |
| TC | 9 | TILIA CORDATA 'GREENSPIRE' | LITTLELEAF LINDEN | 3.5" CAL. | AS SHOWN | B&B |
| UP | 3 | ULMUS PARVIFOLIA 'ALLEE' | LACEBARK ELM | 4" CAL. | AS SHOWN | B&B |
| EVERGREEN / FLOWERING TREES | | | | | | |
| AC1 | 8 | ABIES CONCOLOR | WHITE FIR | 7'-8" HT | AS SHOWN | B&B |
| AC | 30 | ABIES CONCOLOR | WHITE FIR | 9'-10" HT | AS SHOWN | B&B |
| AM | 16 | AMELANCHIER CANADENSIS | SHADBLOW SERVICEBERRY | 6-7' HT. | AS SHOWN | B&B, MULTI-STEMMED |
| FG | 1 | FAGUS 'GRANDIFOLIA' | AMERICAN BEECH | 3.5" CAL. | AS SHOWN | B&B |
| JV | 7 | JUNIPERUS VIRGINIANA 'EMERALD SENTINEL' | EASTERN RED CEDAR | 8'-9" HT. | AS SHOWN | B&B |
| MS | 2 | MYRUS 'SPRING SNOW' | SPRING SNOW CRABAPPLE | 3'-3.5" CAL. | AS SHOWN | B&B |
| PC | 13 | PALYUS CALLERYANA | AMERICAN HORNBEAM | 3" CAL. | AS SHOWN | B&B |
| PO | 5 | PRUNUS X 'OKAME' | OKAME CHERRY | 4" CAL. | AS SHOWN | B&B |
| PR | 5 | PRUNUS SARGENTII 'COLUMNARIS' | SARGENTII CHERRY | 3" CAL. | AS SHOWN | B&B (COLUMNAR) 8'8" |
| PS | 7 | PINUS STROBUS | WHITE PINE | 8'-9" HT | AS SHOWN | B&B |
| SHRUBS | | | | | | |
| AA | 23 | ARONIA ARBUTIFOLIA | RED CHOKEBERRY | 3' TO 3.5' | AS SHOWN | #3 POT |
| AZ | 8 | AZALEA DELAWARE VALLEY WHITE | AZALEA | 2.5' TO 3' | AS SHOWN | #3 POT |
| CS | 77 | CORNUS SERICEA 'ISANT' | REDOSIER DOGWOOD | 3' TO 4' | AS SHOWN | #3 POT |
| FL | 36 | FORSYTHIA X INTERMEDIA 'LYNWOOD GOLD' | LYNWOOD GOLD FORSYTHIA | 3' TO 3.5' | AS SHOWN | ----- |
| IG | 99 | ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERY | 3.5' TO 4' | AS SHOWN | #5 POT |
| IMB | 9 | ILLEX MESSEVERAE 'CHINA BOY' | HOLLY - CHINA BOY | 3.5' TO 4' | AS SHOWN | MALE, #5 POT |
| IMG | 70 | ILLEX MESSEVERAE 'CHINA GIRL' | HOLLY - CHINA GIRL | 3.5' TO 4' | AS SHOWN | FEMALE, #5 POT |
| JCH | 45 | JUNIPERUS CHINENSIS 'HETZU COLUMNARIS' | COLUMNAR CHINESE JUNIPER | 7'-8" HT. | AS SHOWN | ----- |
| JGC | 13 | JUNIPERUS CHINENSIS 'SEAGREEN' | SEAGREEN JUNIPER | #5 POT | 4' O.C. | #5 POT |
| JS | 14 | JUNIPERUS C. SARGENTII 'GLAUCO' | BLUE SARGENT JUNIPER | 24"-36" | AS SHOWN | STAGGERED ROTTED |
| KL | 69 | KALMIA LATIFOLIA 'F. MYRTICOLA 'ELF' | MOUNTAIN LAUREL MINIATURE MOUNTAIN | #5 POT | AS SHOWN | CORTEX FORM OF SPOTS |

| KEY | QUANTITY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | COMMENTS |
|--|----------|---|------------------------------|------------|----------|------------------------------|
| SHRUBS | | | | | | |
| MP | 10 | MYRICA PENSYLVANICA | NORTHERN BAYBERRY | 4-5' HT. | AS SHOWN | B&B |
| RB | 35 | RHODODENDRON BOULE DE 'NEIGE' | BOULE DE NEIGE RHODODENDRON | 3.5' TO 4' | AS SHOWN | B&B |
| RM | 12 | RHODODENDRON MAXIMUM 'ROSEUM' | COMPACT ROSEBAY RHODODENDRON | 3.5' TO 4' | AS SHOWN | COMPACT FORM OF SPECIES, B&B |
| RCA | 12 | RHODODENDRON 'CATAMBIENSE ALBUM' | WHITE CATAMBA RHODODENDRON | 3.5' TO 4' | AS SHOWN | B&B |
| VT | 19 | VIBURNUM TILLOBUM 'COMPACTUM' | AMERICAN CRANBERRYBUSH | 4-5' HT. | AS SHOWN | B&B |
| PERENNIALS, GROUNDCOVERS, VINES & BULBS | | | | | | |
| AS | 72 | ASTER NOVAE ANGIAE 'PURPLE DOME' | NEW ENGLAND ASTER | 3 GAL. | 18" O.C. | STAGGERED |
| CA | 81 | CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER' | FEATHER REED GRASS | 3 GAL. | 30" O.C. | STAGGERED |
| CH | 81 | LEUCANTHEMUM X SUPERBUM 'BECKY' | CHRYSANTHEMUM SHASTA DAWY | 3 GAL. | 12" O.C. | STAGGERED |
| EC | 53 | ECHINACEA PURPUREA | PURPLECONE FLOWER | 3 GAL. | 18" O.C. | STAGGERED |
| MI | 34 | MICROBIOTA DECUSSATA | SIBERIAN CARPET | 3 GAL. | 36" O.C. | STAGGERED |
| HD | 96 | HEMEROCALLIS 'RED HOT RETURNS' | DAYLILY | 2 GAL. | 18" O.C. | STAGGERED |
| HOS | 23 | HOSTA PATRIOT | PATRIOT HOSTA | 2 GAL. | 18" O.C. | STAGGERED |
| HH | 94 | HEMEROCALLIS 'HAPPY RETURNS' | DAYLILY | 2 GAL. | 18" O.C. | STAGGERED |
| HR | 68 | HEMEROCALLIS 'ROSEY RETURNS' | DAYLILY | 2 GAL. | 18" O.C. | STAGGERED |
| HRS | 19 | HOSTA 'ROYAL STANDARD' | ROYAL STANDARD HOSTA | 3 GAL. | 18" O.C. | STAGGERED |
| LR | 125 | LIRIOPE MUSCARI 'VAREGATA' | LIRIOPE | 2 GAL. | 12" O.C. | STAGGERED |
| NP | 100 | NARCISSUS PSEUDONARCISSUS | DAFFODIL | BULBS | 8" O.C. | STAGGERED |
| PQ | 135 | PARTHENOCISSUS QUINQUEFOLIA | VIRGINIA CREEPER | 2 GAL. | 24" O.C. | AGAINST WALL |
| RUD | 167 | RUDBECKIA FULGIDA 'GOLDSTURM' | BLACK EYED SUSAN | 2 GAL. | 18" O.C. | STAGGERED |
| SA | 157 | SEDUM AUTUMN JOY | SEDUM | 3 GAL. | 18" O.C. | STAGGERED |
| TU | 180 | TULIPA 'BLUE RIBBON MIXTURE' | TULIPS | BULBS | 6" O.C. | STAGGERED |

TOWN OF ARLINGTON, ZONING SUMMARY:

YARD AND SETBACK REGULATIONS

SECTION 6.16 (A) SCREENING AND SPACE BUFFERS

REQUIRED: SCREENING AND SPACE BUFFERS SHALL BE REQUIRED IN ANY INDUSTRIAL (I) OR BUSINESS (B) DISTRICT WHICH ABUTS CERTAIN BUILDABLE RESIDENTIAL LOTS. THE MINIMUM WIDTH OF THIS STRIP SHALL BE AS FOLLOWS. A B2A DISTRICT (SUBJECT PROPERTY) ABUTTING AN R1 DISTRICT (HIGH SCHOOL & EXISTING PARK) SHALL HAVE A 15' MIN. STRIP.

PROPOSED: A LANDSCAPE BUFFER GREATER THAN 15' WIDE, HAS BEEN PROVIDED ALONG THE WESTERN AND SOUTHWESTERN PORTIONS OF THE PROPERTY WHICH ADJUT THE R1 DISTRICT. WITHIN THIS BUFFER, EXISTING TREES HAVE BEEN PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE. PROPOSED PLANTINGS OF AT LEAST 50% EVERGREEN PLANTS, WITH AT LEAST 3' IN WIDTH AND 6' IN HEIGHT HAVE BEEN PROVIDED.

SEE LAYOUT SHEET FOR PERCENTAGE OF LANDSCAPING WITHIN PARKING AREA

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON
ZONING BYLAW HAS BEEN GRANTED:

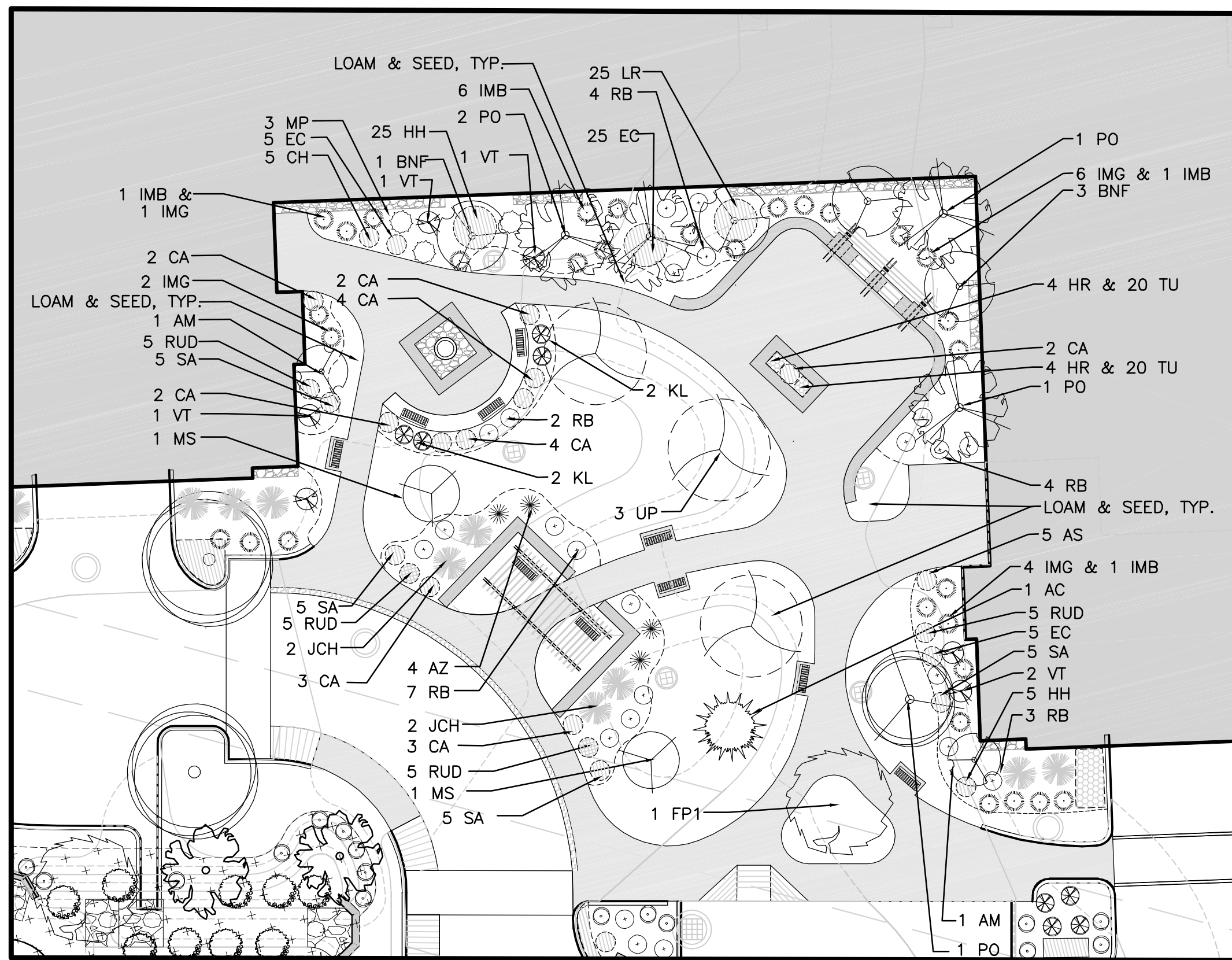
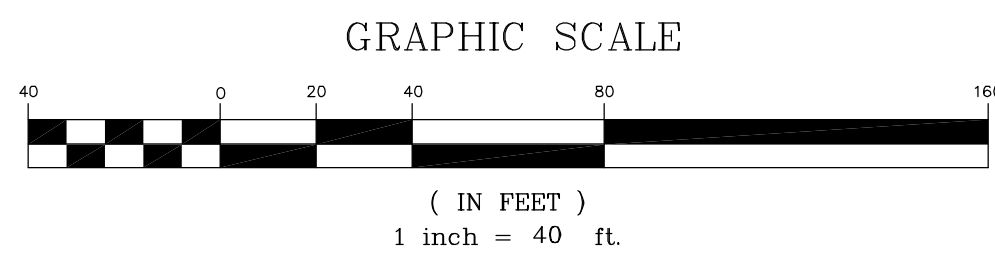
SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

- MINIMUM LOT FRONTAGE
- MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



1 COURTYARD LANDSCAPE ENLARGEMENT
SCALE: 1"=20'

LANDSCAPE NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF ARLINGTON, MA.
2. PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
4. NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
5. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
10. ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED. LAWNS WITH OVER 3:1 SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
11. ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR SPRING PLANTING.
12. TREES SHALL HAVE A MINIMUM CALIPER PER PLANT SCHEDULE ONE FOOT ABOVE THE ROOT CROWN.
13. ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH, AND GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
14. ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
15. ALL TREE STAKES SHALL BE STAINED DARK BROWN.
16. CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
17. ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
18. SOIL SAMPLES AND TESTS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER AND APPROVED PRIOR TO PLACEMENT.
19. SPREAD THE FOLLOWING 2 SEED MIXES AT WET WATER QUALITY GRASS SWALE AS SHOWN ON THE PLAN.

1. NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DRY SITES (SEE SEED MIX SPECIFICATION ABOVE)
2. NEW ENGLAND EROSION CONTROL MIX FOR DETENTION BASINS & MOIST SITES (SEE SEED MIX SPECIFICATION ABOVE)

MIX BOTH THE 2 SEED MIXES TOGETHER AT A RATIO OF 80 AND SPREAD AT A RATIO OF 1 LB PER 500 SQ. FT. SEED MIXES AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000.

SEEDD AREAS TO BE TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT AND ACCEPTANCE. CONTRACTOR RESPONSIBLE FOR RE-SEEDING AS NECESSARY AND MAINTENANCE UNTIL ESTABLISHMENT AND ACCEPTANCE. A NON-INVASIVE WINTER RYE MAY BE ADDED TO THE MIX TO OBTAIN SOIL STABILIZATION IN THE FALL.

20. SPREAD NEW ENGLAND EROSION CONTROL MIX FOR DRY SITES AT THE REAR SLOPE OF THE BUILDING AS SHOWN ON THE PLAN. (SEE SEED MIX SPECIFICATION ABOVE)

SPREAD AT A RATIO OF 1 LB PER 500 SQ. FT. SEED MIX AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, 820 WEST ST., AMHERST, MA, 413-548-8000.

SEEDD AREAS TO BE TEMPORARILY IRRIGATED UNTIL ESTABLISHMENT AND ACCEPTANCE. CONTRACTOR RESPONSIBLE FOR RE-SEEDING AS NECESSARY AND MAINTENANCE UNTIL ESTABLISHMENT AND ACCEPTANCE. A NON-INVASIVE WINTER RYE MAY BE ADDED TO THE MIX TO OBTAIN SOIL STABILIZATION IN THE FALL.

21. LANDSCAPE AREAS NOTED ON THE PLAN, INCLUDING MOWED LAWNS, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DO NOT IRRIGATE WET WATER QUALITY GRASS SWALE. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL. TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING USE OF DRIP IRRIGATION FOR SHRUBS AND PERNNIALS, IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, A SUBMETER FOR THE IRRIGATION SYSTEM, SEPARATE ZONES FOR EACH TYPE OF BEDDING AREA BASED ON WATERING NEEDS, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.

22. PRIOR TO LAYING TOPSOIL, ALL SUBSOIL TO BE TILLED TO A DEPTH OF AT LEAST 12" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER DRAINAGE OF TOPSOILS.

23. ALL LANDSCAPE SHRUBS, PERENNIALS, AND TREES TO BE INSTALLED A MINIMUM OF 24" AWAY FROM BUILDING STRUCTURE.

WET WATER QUALITY GRASS SWALE NOTES:

1. GRADING, AND PLANTING OF WET WATER QUALITY SWALE SHALL BE COMPLETED IN EARLY PHASES OF EARTHWORK CONSTRUCTION. PLANTS MUST BE ESTABLISHED PRIOR TO CONNECTING STORM DRAINAGE SYSTEM, AND STARTING BITUMINUOUS PAVING. PLANTS SHALL HAVE A MINIMUM OF 2 MONTHS GROWING, BE ESTABLISHED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTING BITUMINUOUS PAVING AND CONNECTING STORM DRAINAGE SYSTEM.
2. EXCAVATION, FILLING AND PLANTING SHALL OCCUR IN THE DRY. WATER LEVELS MUST BE LOWERED IN THE SWALE AREA BY RELYING ON DRY SEASON AND OR DRY SPELLS, OR MAY BE ACCOMPLISHED THROUGH THE USE OF DEWATERING METHODS. WATER FROM ANY DEWATERING OPERATION SHALL BE TREATED TO REDUCE TOTAL SUSPENDED SOLIDS AND BE IN COMPLIANCE WITH STATE AND FEDERAL STANDARDS.

NEW ENGLAND WETLAND PLANTS INC. SEED MIXES (UNMOWED AREAS):
(SEE LANDSCAPE NOTES;, FOR APPLICATION RATE OF SEED MIXES)

NEW ENGLAND EROSION CONTROL / RESTORATION MIX
(FOR DETENTION BASINS AND MOIST SITES):
(BY NEW ENGLAND WETLAND PLANTS INC.):

| COMMON NAME | LATIN NAME |
|---------------------------|------------------------|
| 1. UPLAND BENTGRASS | AGROSTIS PERENNANS |
| 2. CREEPING BENTGRASS | AGROSTIS STOLONIFERA |
| 3. BIG BLUESTEM | ANDROPOGON GERARDII |
| 4. FOX SEDGE | CAREX VULPINOIDEA |
| 5. CREEPING RED FESCUE | FESTUCA RUBRA |
| 6. SOFT RUSH | JUNCOUS EFFUSUS |
| 7. SWITCHGRASS | PANICUM VIRGATUM |
| 8. GREEN BULRUSH | SCIRPUS ATROVIRENS |
| 9. NEW ENGLAND ASTER | ASTER NOVAE-ANGLIAE |
| 10. ELYMUS VIRGINICUS | VIRGINIA WILD RYE |
| 11. EUPATORIUM | PERFOLIATUM BONESET |
| 12. EUTHAMIA GRAMINIFOLIA | (SOLIDAGO G.) |
| 13. ONOCLEA SENSIBILIS | GRASS LEAVED GOLDENROD |
| 14. SCIRPUS CYPERINUS | SENSITIVE FERN |
| | WOOL GRASS |

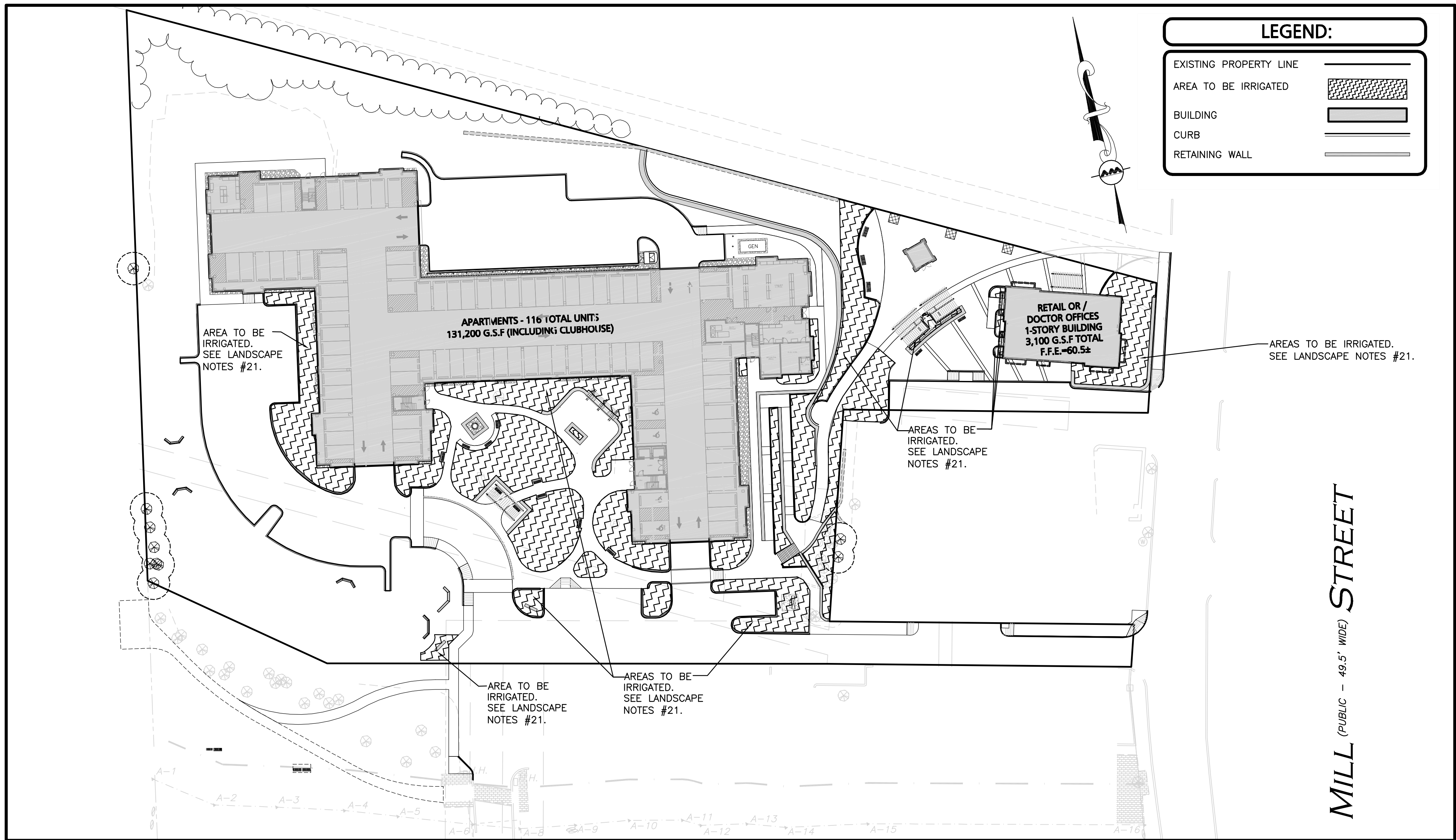
NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DRY SITES
(BY NEW ENGLAND WETLAND PLANTS INC., 820 WEST STREET,
AMHERST, MA, TEL: 413-548-8000):

| | |
|-------------------------------------|-------------------------|
| 1. UPLAND BENTGRASS | AGROSTIS PERENNANS |
| 2. ROUGH BENTGRASS/TICKLEGRASS | AGROSTIS SCABRA |
| 3. BLUE GRAMA | BOULELOUIA GRACILIS |
| 4. CANADA WILD RYE | ELYMUS CANADENSIS |
| 5. CREEPING RED FESCUE | FESTUCA RUBRA |
| 6. ANNUAL RYEGRASS (NATURALIZED) | LOLIUM MULTIFLORUM |
| 7. PERENNIAL RYEGRASS (NATURALIZED) | LOLIUM PERENNE |
| 8. LITTLE BLUESTEM | SCHIZACHYRIUM SCOPARIUM |
| 9. INDIAN GRASSES | SORGHASTRUM NUTANS |

LOAM AND SEEDING NOTES (MOWED AREAS):

| SCIENTIFIC NAME | COMMON NAME | PROPORTION BY WEIGHT | PERCENT PURITY | PERCENT GERMINATION |
|----------------------------------|---------------------------|----------------------|----------------|---------------------|
| FESTUCA RUBRA "RUBRA" | CREEPING RED FESCUE | 37% | 95% | 90% |
| PAO PRAENTENSIS "BARON" | BARON KENTUCKY BLUEGRASS | 40% | 85% | 90% |
| LOLIUM PERENNE "PALMER" | PALMER PERENNIAL RYEGRASS | 15% | 95% | 90% |
| FESTUCA RUBRA COMMUTATA WILMA | WILMA CHEWINGS | 8% | 95% | 80% |

1. SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
2. SEEDING TO BE COMPLETED BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS.
3. COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIZE SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
4. LAWN AREAS TO BE SEEDD BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
5. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.



1 LANDSCAPE AREAS TO BE IRRIGATED
SCALE: 1"=40"

LEGEND:

EXISTING PROPERTY LINE

AREA TO BE IRRIGATED

BUILDING

CURB

RETAINING WALL

**Mill Street
Residential &
Retail
Development**
30-50 Mill Street
Arlington, MA

**WP East
Development
Enterprises, LLC**
One Concord Farms
490 Virginia Road, Suite 2
Concord, MA

**ALLEN & MAJOR
ASSOCIATES, INC.**
civil & landscape engineering & land consulting
environmental consulting & infrastructure architecture
100 CONCORD ST., SUITE 200
CONCORD, MA 01742
TEL: 978.350.0000
FAX: 978.350.0000
WWW.ALLEN-MAJOR.COM
WILMINGTON, MA • CHATFIELD, MA • BARNSTABLE, MA

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Permit - GMP Set
**NOT FOR
CONSTRUCTION**

| | |
|---------------------|----------|
| drawing by: | BDJ, RB |
| drawing checked by: | TJW |
| drawing scale: | AS NOTED |
| drawing date: | 03.15.10 |
| drawing revision: | |
| project number: | 1670-01 |

| rev. | description | date |
|------|---------------------------------|----------|
| 11 | PERMIT-GMP SET | 04-20-11 |
| 10 | MVRA 8M PERMIT | 03-08-11 |
| 9 | 50% ARB SUBMISSION | 03-04-11 |
| 8 | SECTION 8.12(11) SPECIAL PERMIT | 02-17-11 |
| 7 | PER TOWN COMMENTS | 01-11-11 |
| 6 | PER CON. COM. COMMENTS | 12-13-10 |
| 5 | PER PD COMMENTS | 12-08-10 |
| 4 | PER TOWN COMMENTS | 11-17-10 |
| 3 | PER TOWN COMMENTS | 10-27-10 |
| 2 | PER TOWN COMMENTS | 10-20-10 |
| 1 | PER TOWN COMMENTS | 06-16-10 |

| | | |
|----|---------------------------------|----------|
| 11 | PERMIT-GMP SET | 04-20-11 |
| 10 | MVRA 8M PERMIT | 03-08-11 |
| 9 | 50% ARB SUBMISSION | 03-04-11 |
| 8 | SECTION 8.12(11) SPECIAL PERMIT | 02-17-11 |
| 7 | PER TOWN COMMENTS | 01-11-11 |
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| 4 | PER TOWN COMMENTS | 11-17-10 |
| 3 | PER TOWN COMMENTS | 10-27-10 |
| 2 | PER TOWN COMMENTS | 10-20-10 |
| 1 | PER TOWN COMMENTS | 06-16-10 |

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

- MINIMUM LOT FRONTAGE
- MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

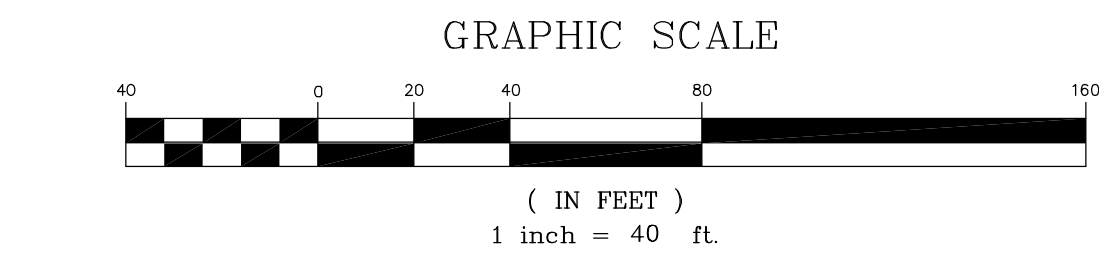
SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

**Proposed
Landscape
Plan**

C-6B



N:\PROJECTS\1670-01\CIVIL\DRAWINGS\CURRENT\C-1670-01 - LANDSCAPE.DWG

30-50 Mill Street
Arlington, MA

30-50 Mill Street
Arlington, MA

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA



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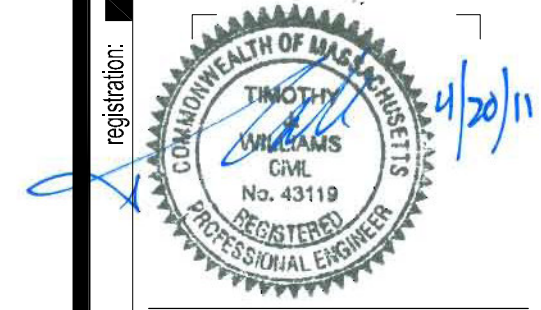
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CONSTRUCTION

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| drawing by: | BDJ, RB | |
| drawing checked by: | TJW | |
| drawing scale: | 1"=40' | |
| drawing date: | 03.15.10 | |
| drawing revisions: | | |
| project number: | 1670-01 | |
| rev. | description | date |

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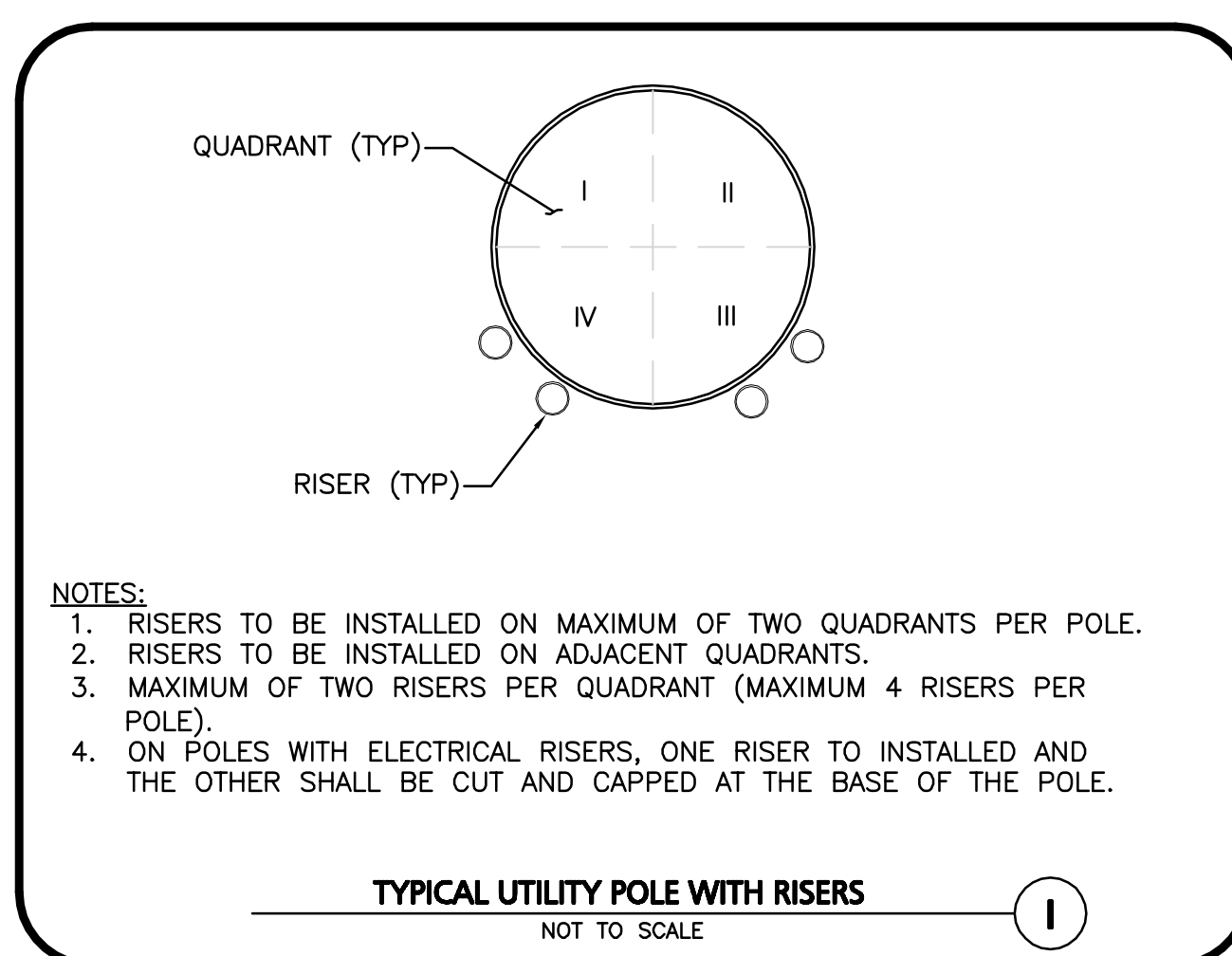
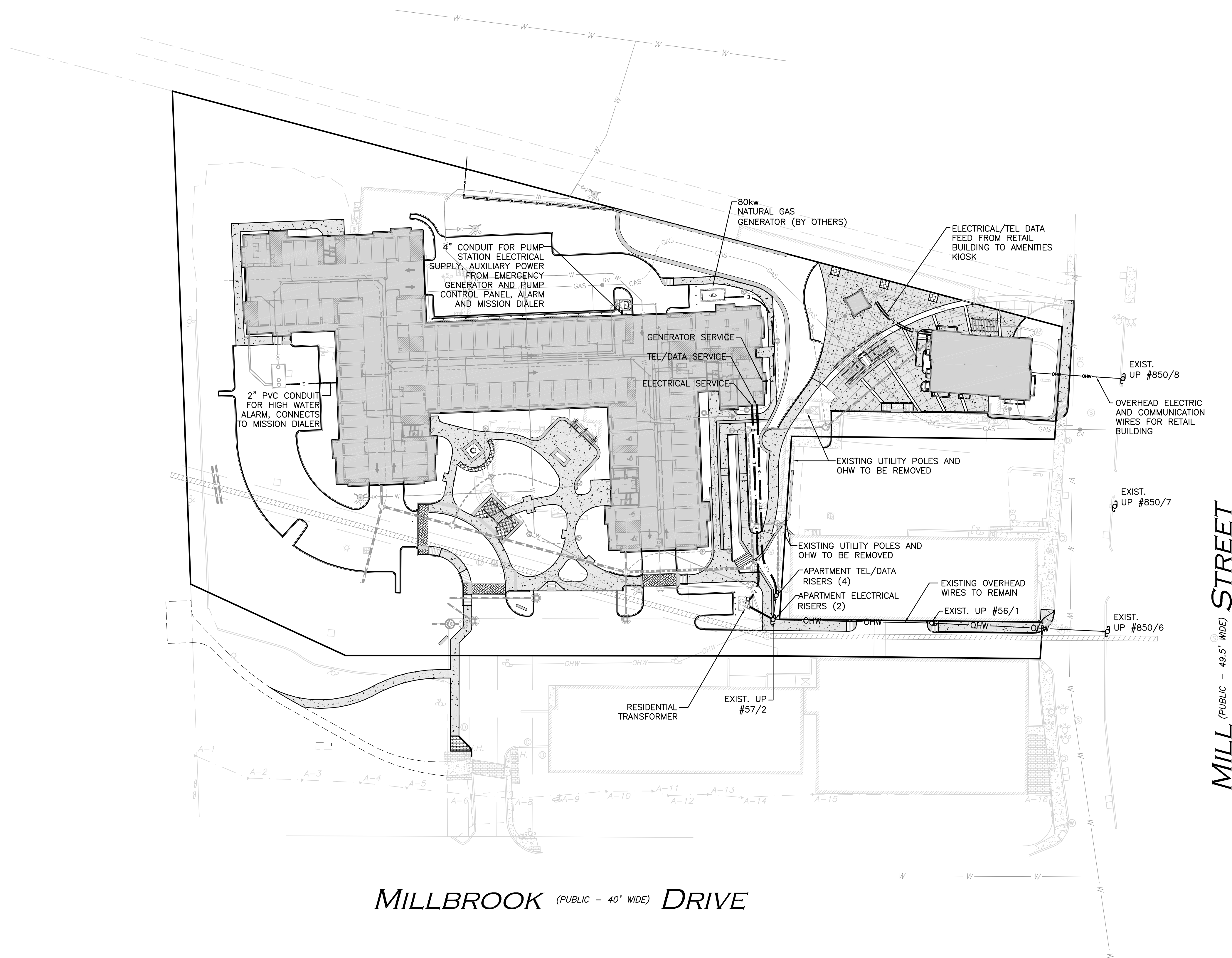
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

Proposed Site Electrical Plan

C-7



NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS AGENCIES, DEPARTMENTS AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT. THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISCLOSE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION THE EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS FOR THE PROJECT SPECIFICALLY IDENTIFIED. ANY REUSE, REPRODUCTION, ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

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SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

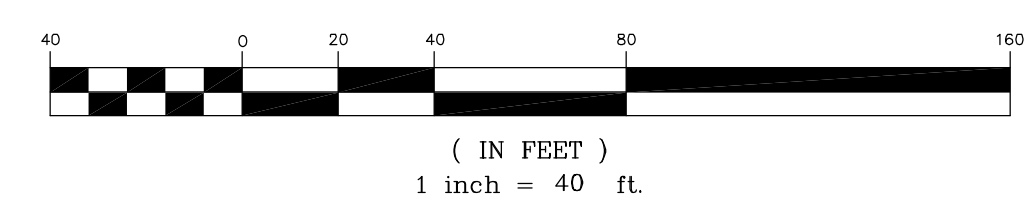
- MINIMUM LOT FRONTAGE
- MAXIMUM BUILDING HEIGHT/STORIES

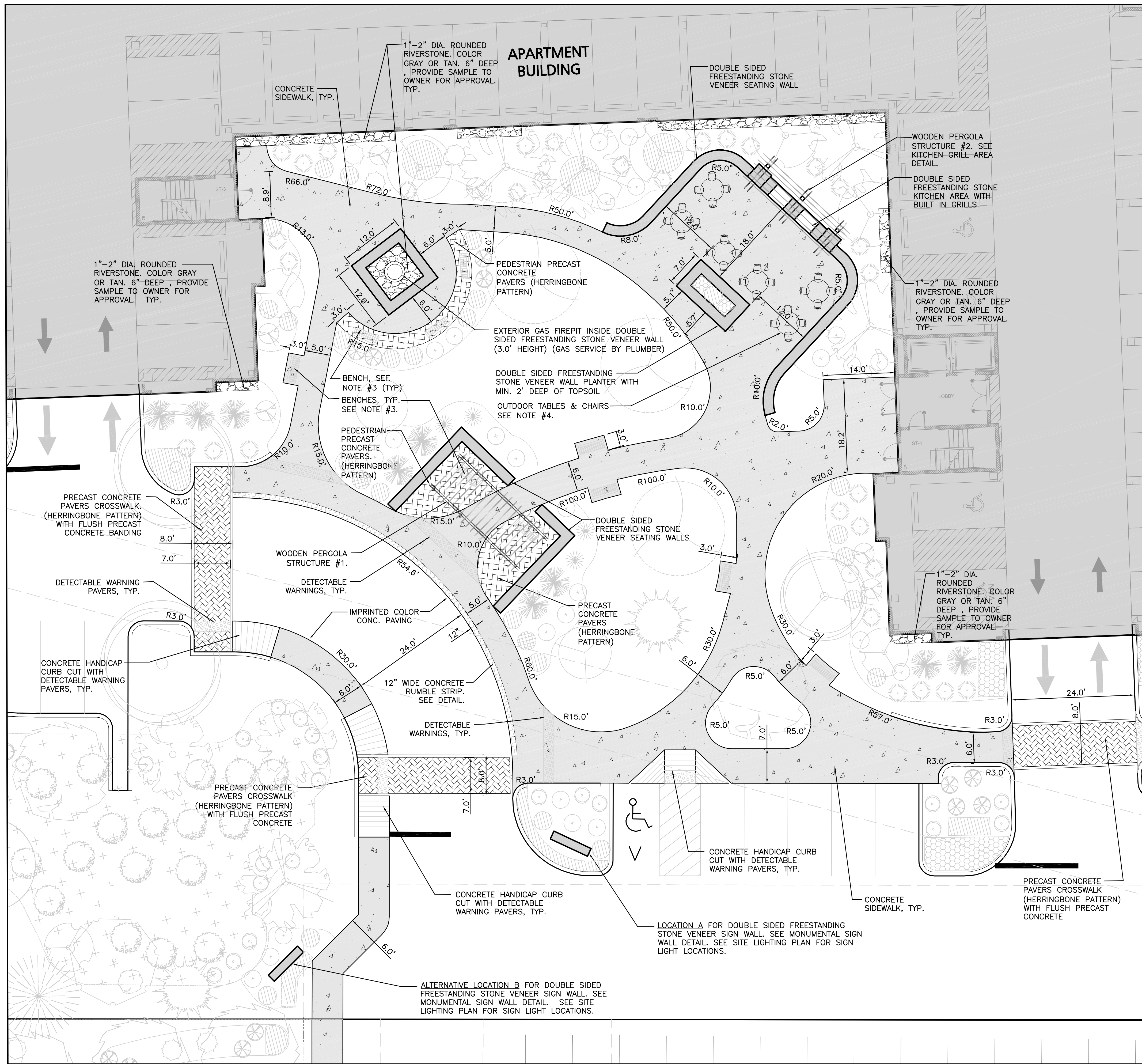
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SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

GRAPHIC SCALE





1 DETAILED COURTYARD AMENITIES PLAN
SCALE: 1"=10'

| LEGEND: | |
|--------------------------|-------|
| EXISTING PROPERTY LINE | |
| SIGN | |
| BOLLARD | |
| BUILDING | |
| BUILDING OVERHANG | |
| BUILDING ARCHITECTURE | |
| CURBING | |
| RETAINING WALL | |
| PARKING STRIPING | |
| ROADWAY STRIPING | |
| TRAFFIC ARROWS | |
| HEAVY DUTY CONCRETE | |
| HEAVY DUTY PAVEMENT | |
| CONCRETE SIDEWALK | |
| PAVER SIDEWALK | |
| ROUNDED RIVERSTONE | |
| ADA ACCESSIBLE RAMP | |
| ADA DET. WARNING SURFACE | |
| SNOW STORAGE | |
| SETBACK LINE | |
| BASELINE | |
| BASELINE DATA LABEL | 10 |
| BASELINE STATIONING | 10+00 |
| PARKING COUNT | 10 |
| CHAIN LINK FENCE | |
| DECORATIVE FENCE | |
| TRANSFORMER | |
| SOLID YELLOW CENTER LINE | SYCL |
| STOP LINE | SL |
| PRECAST CONCRETE CURB | PCC |
| VERTICAL GRANITE CURB | VGC |
| CAPE COD BERM | CCB |

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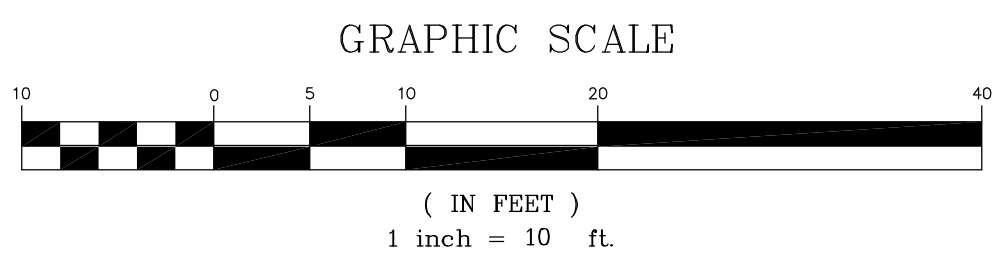
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Arlington, MA

WP East Development Enterprises, LLC

One Concord Farms
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Concord, MA

ALLEN & MAJOR ASSOCIATES, INC.

2000 & 2001 National Engineering Award Certificate
Environmental Consulting & Planning
100 CONCORD AVENUE, SUITE 200
CONCORD, MA 01742
TEL: 978-366-0000
FAX: 978-366-0001
WWW.AM-ASSOCIATES.COM
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REGISTERED PROFESSIONAL ENGINEER
MASSACHUSETTS
LICENSE NO. 45118
EXPIRATION DATE 12/31/2011

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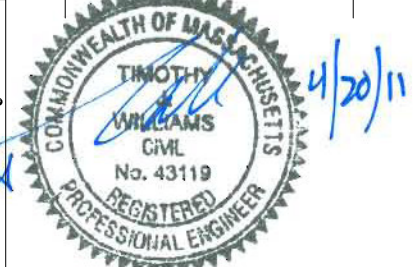
Permit - GMP Set

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| drawing by: | BDJ, RB | |
| drawing checked by: | TJW | |
| drawing scale: | 1"=10' | |
| drawing date: | 03.15.10 | |
| drawing revisions: | | |
| project number: | 1670-01 | |
| rev. | description | date |

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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

Proposed Amenities Plan

C-9A

Mill Street
Residential &
Retail
Development

30-50 Mill Street
Arlington, MA

WP East
Development
Enterprises, LLC

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA



ALLEN & MAJOR
ASSOCIATES, INC.
AIA & AIAA CERTIFIED ARCHITECTS
REGISTERED PROFESSIONAL ENGINEERS
100 CONCORD ST., SUITE 200
CONCORD, MA 01742
TEL: 978.353.0000
WWW.ALLENMAJOR.COM
WILMINGTON, MA • CHATFIELD, MA • HANOVER, NH

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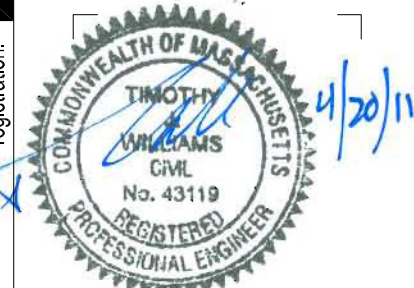
Permit - GMP Set

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| drawing by: | BDJ, RB | |
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

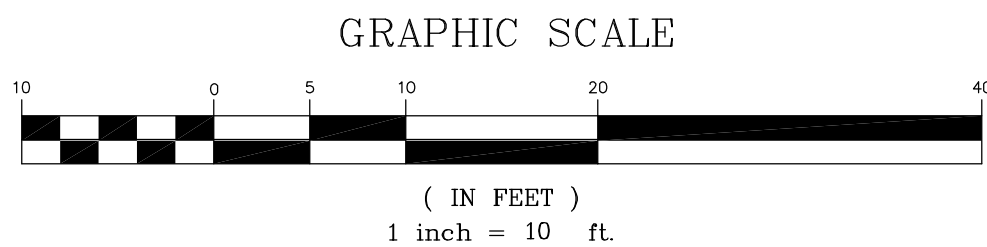
Proposed
Amenities Plan

C-9C

| LEGEND: | |
|--------------------------|-------|
| EXISTING PROPERTY LINE | --- |
| SIGN | --- |
| BOLLARD | • |
| BUILDING | --- |
| BUILDING OVERHANG | --- |
| BUILDING ARCHITECTURE | --- |
| CURBING | --- |
| RETAINING WALL | --- |
| PARKING STRIPING | --- |
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| HEAVY DUTY CONCRETE | --- |
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| ROUNDED RIVERSTONE | --- |
| ADA ACCESSIBLE RAMP | --- |
| ADA DET. WARNING SURFACE | --- |
| SNOW STORAGE | --- |
| SETBACK LINE | --- |
| BASELINE | --- |
| BASELINE DATA LABEL | 10 |
| BASELINE STATIONING | 10+00 |
| PARKING COUNT | 10 |
| CHAIN LINK FENCE | --- |
| DECORATIVE FENCE | --- |
| TRANSFORMER | --- |
| SOLID YELLOW CENTER LINE | SYCL |
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Development

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civil & structural engineering, interior design, landscape architecture
mechanical, electrical, plumbing, fire protection, energy conservation
100 CONCORD AVENUE
CONCORD, MASSACHUSETTS 01702
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drawing checked by: TJW

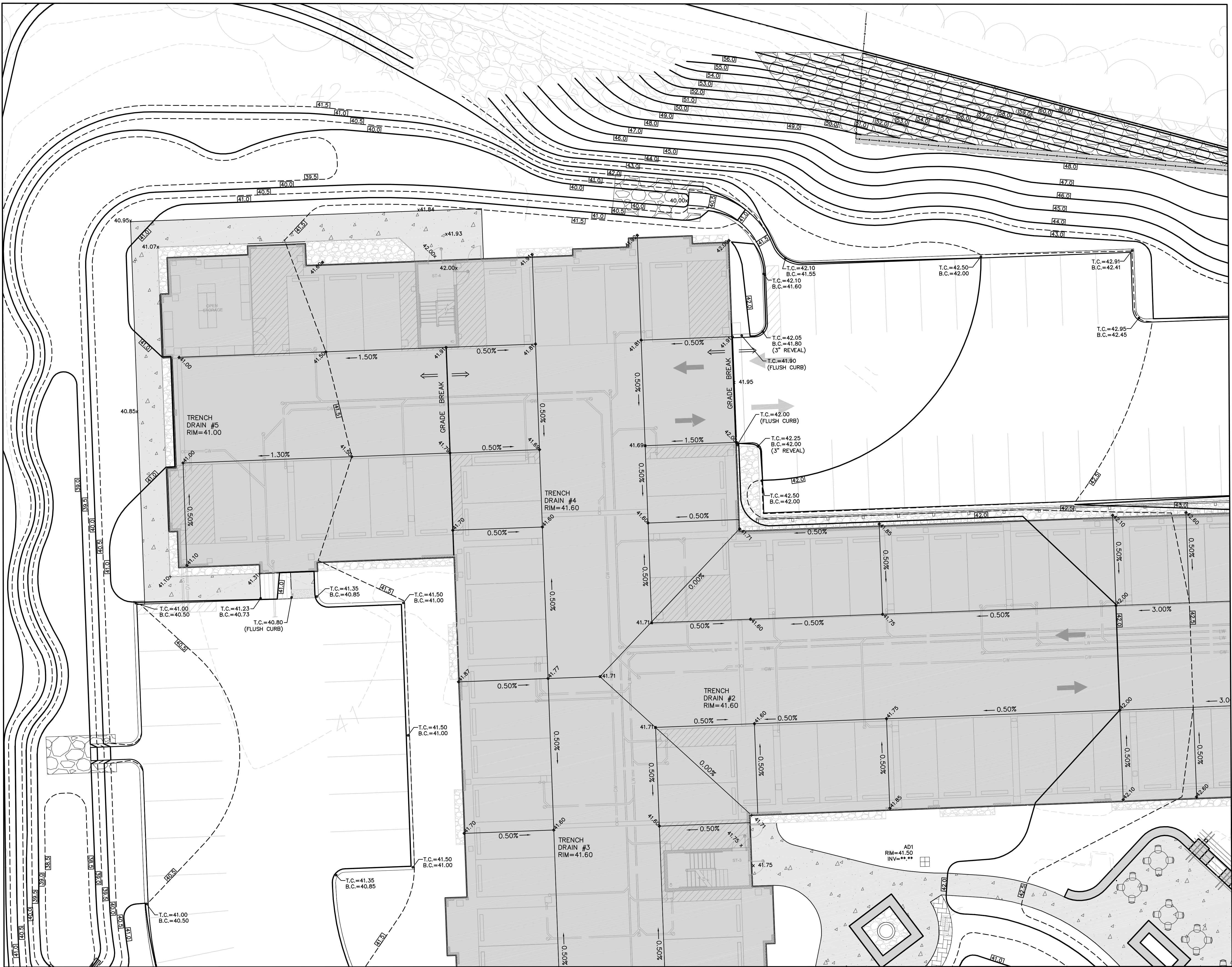
drawing scale: 1"=10'

drawing date: 03.15.10

drawing revision:

project number: 1670-01

rev. description date



1 DETAILED SPOT GRADE PLAN
SCALE: 1"=10'

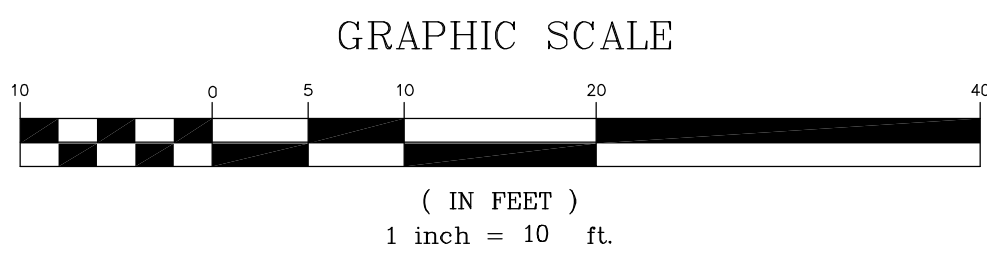
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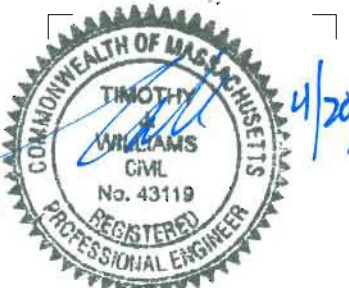
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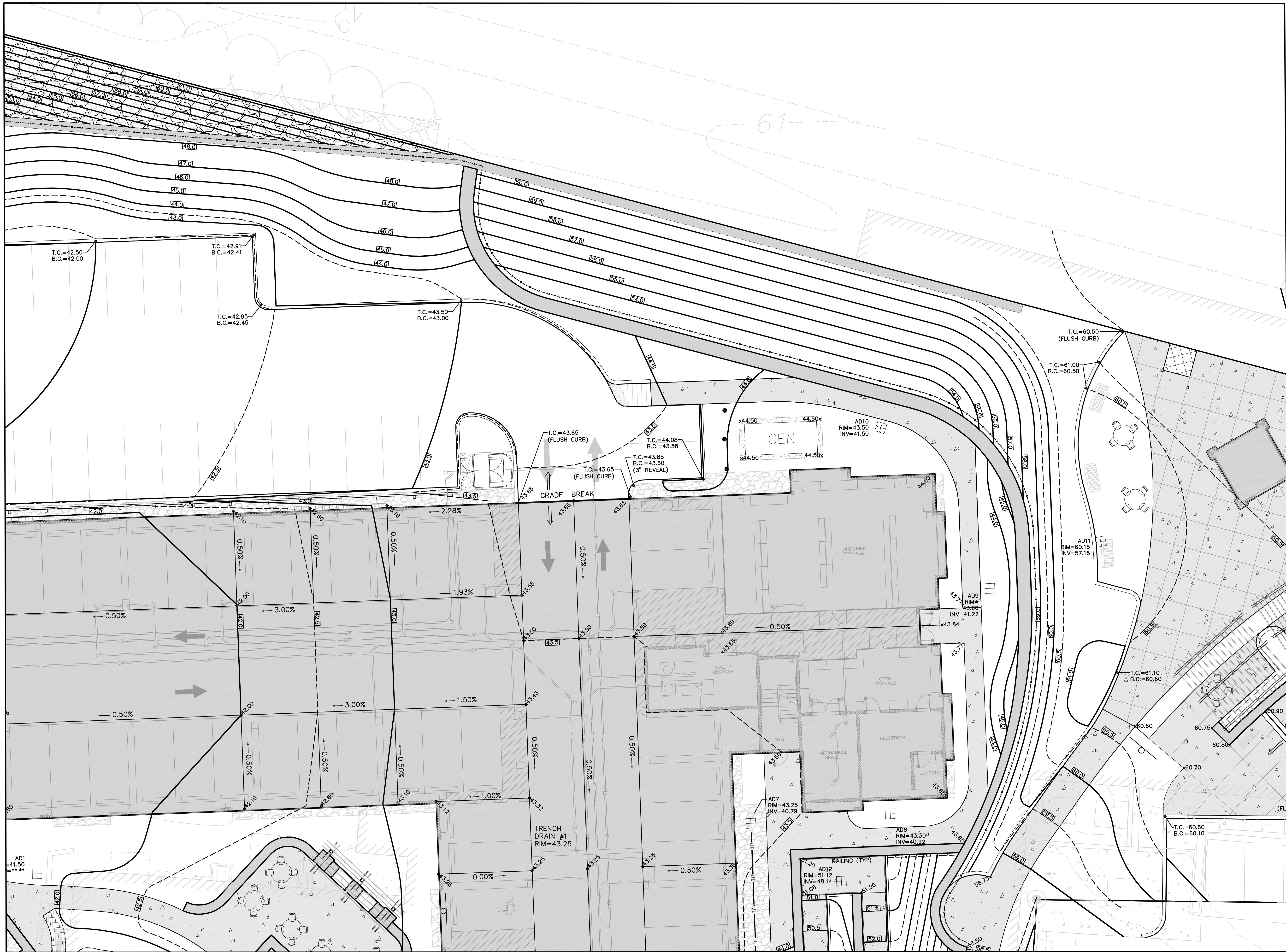
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

**Proposed
Spot Grade
Plan**

C-10B



1 DETAILED SPOT GRADE PLAN
SCALE: 1"=10'

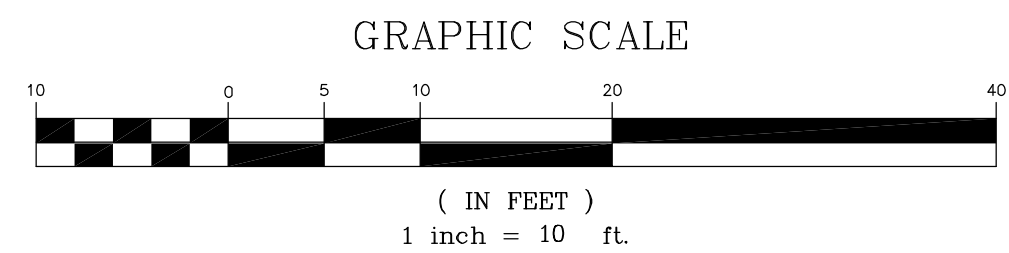
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Residential &
Retail
Development**

30-50 Mill Street
Arlington, MA

**WP East
Development
Enterprises, LLC**

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA



**ALLEN & MAJOR
ASSOCIATES, INC.**
civil & mechanical engineering, interior design, landscape architecture, environmental consulting, planning, architecture
100 FOUNDRY STREET
NEWTON, MA 02459
TEL: 781.552.0000
WWW.ALLENMAJOR.COM
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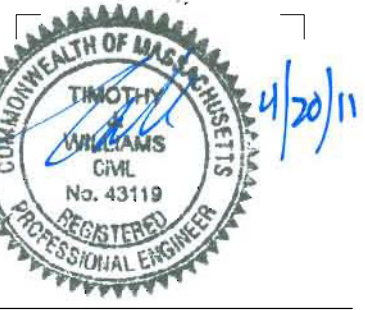
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drawing revision:
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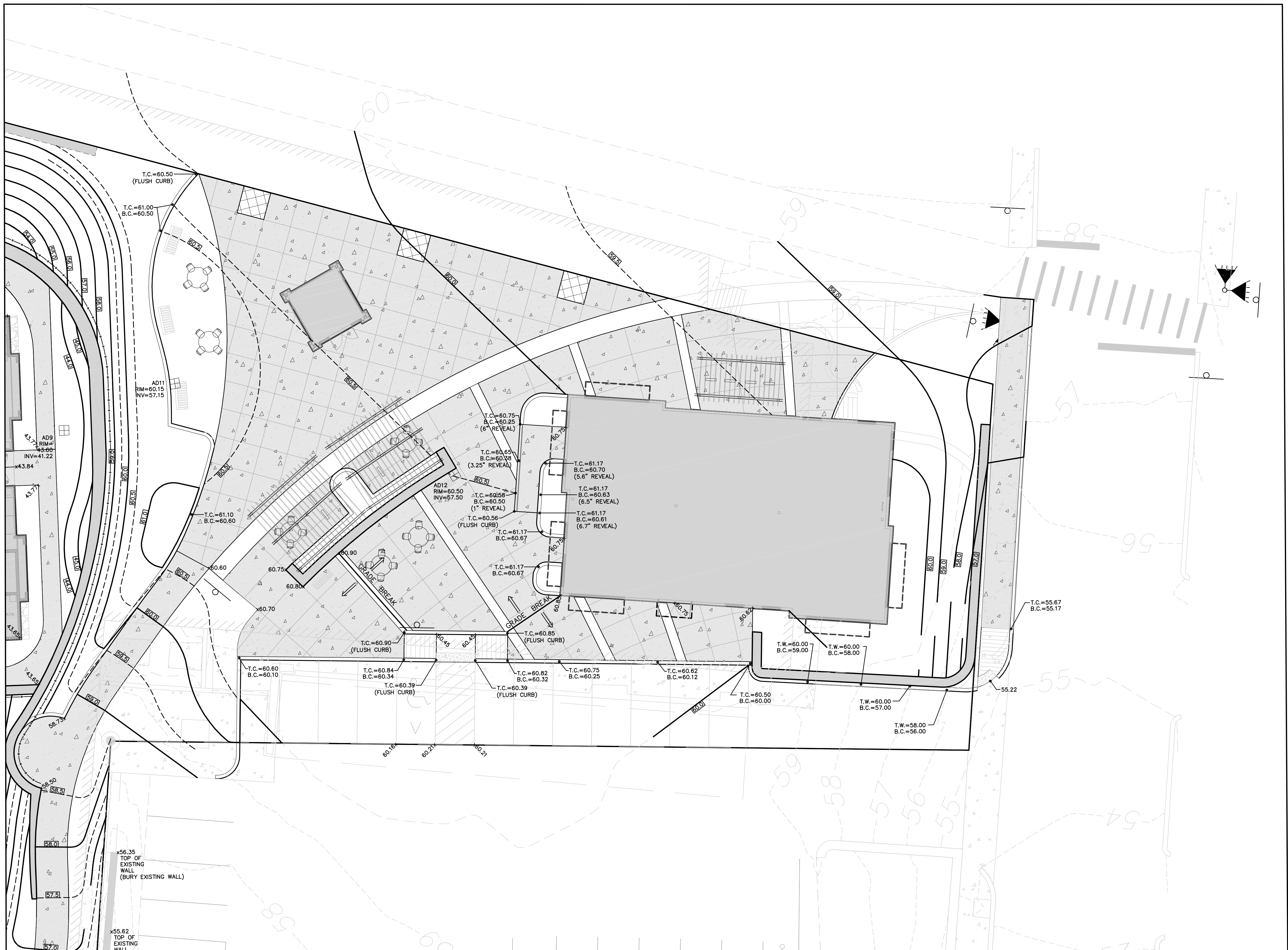
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

**Proposed
Spot Grade
Plan**

C-10C



1 DETAILED SPOT GRADE PLAN
SCALE: 1"=10'

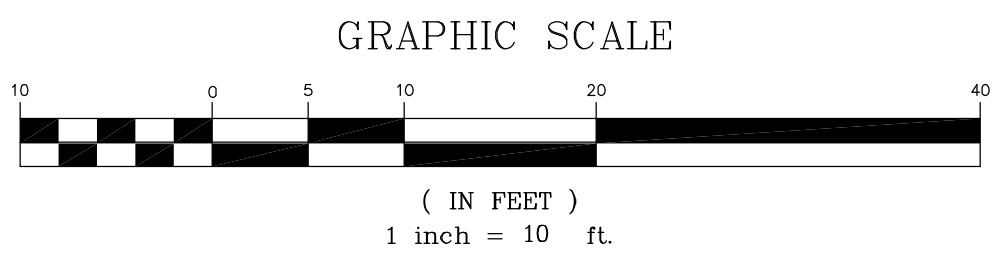
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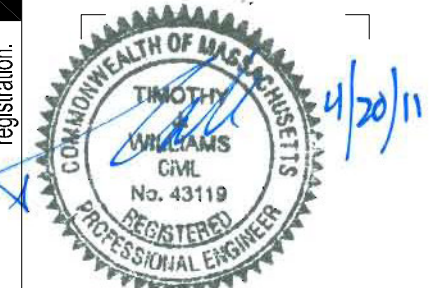
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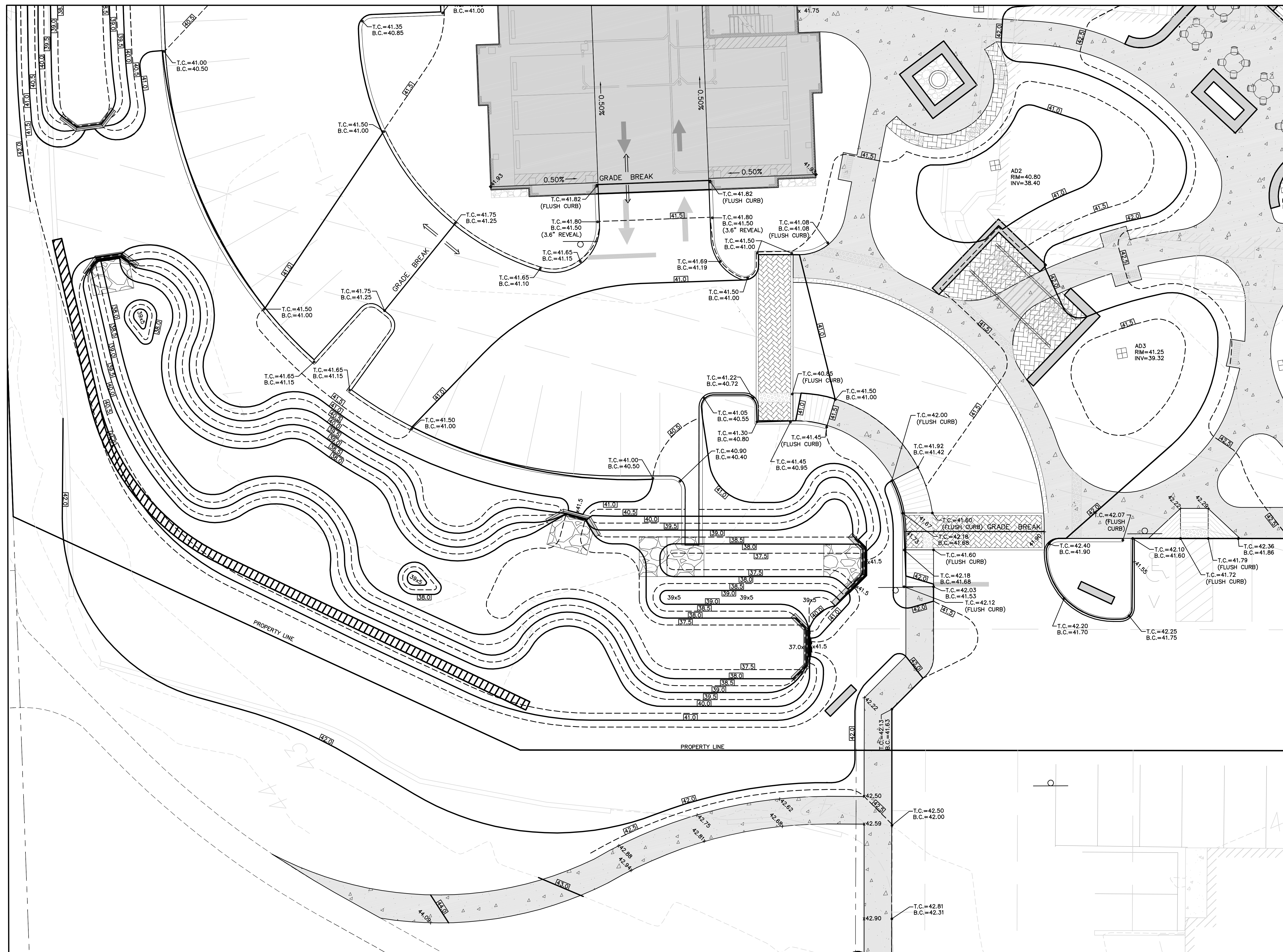
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.Proposed
Spot Grade
Plan

C-10D

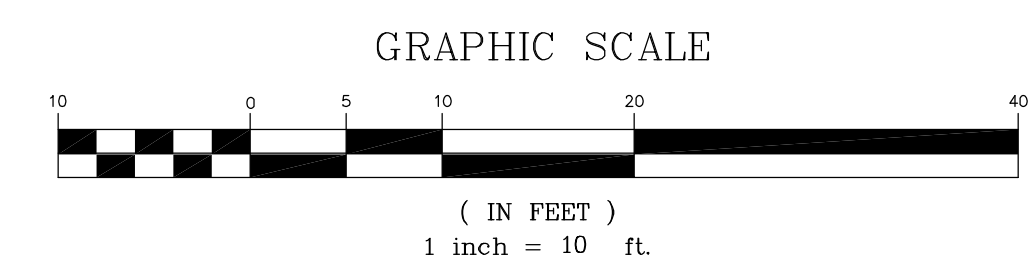
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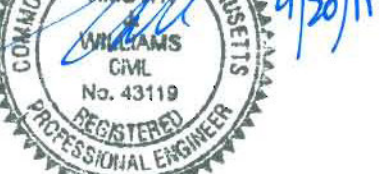
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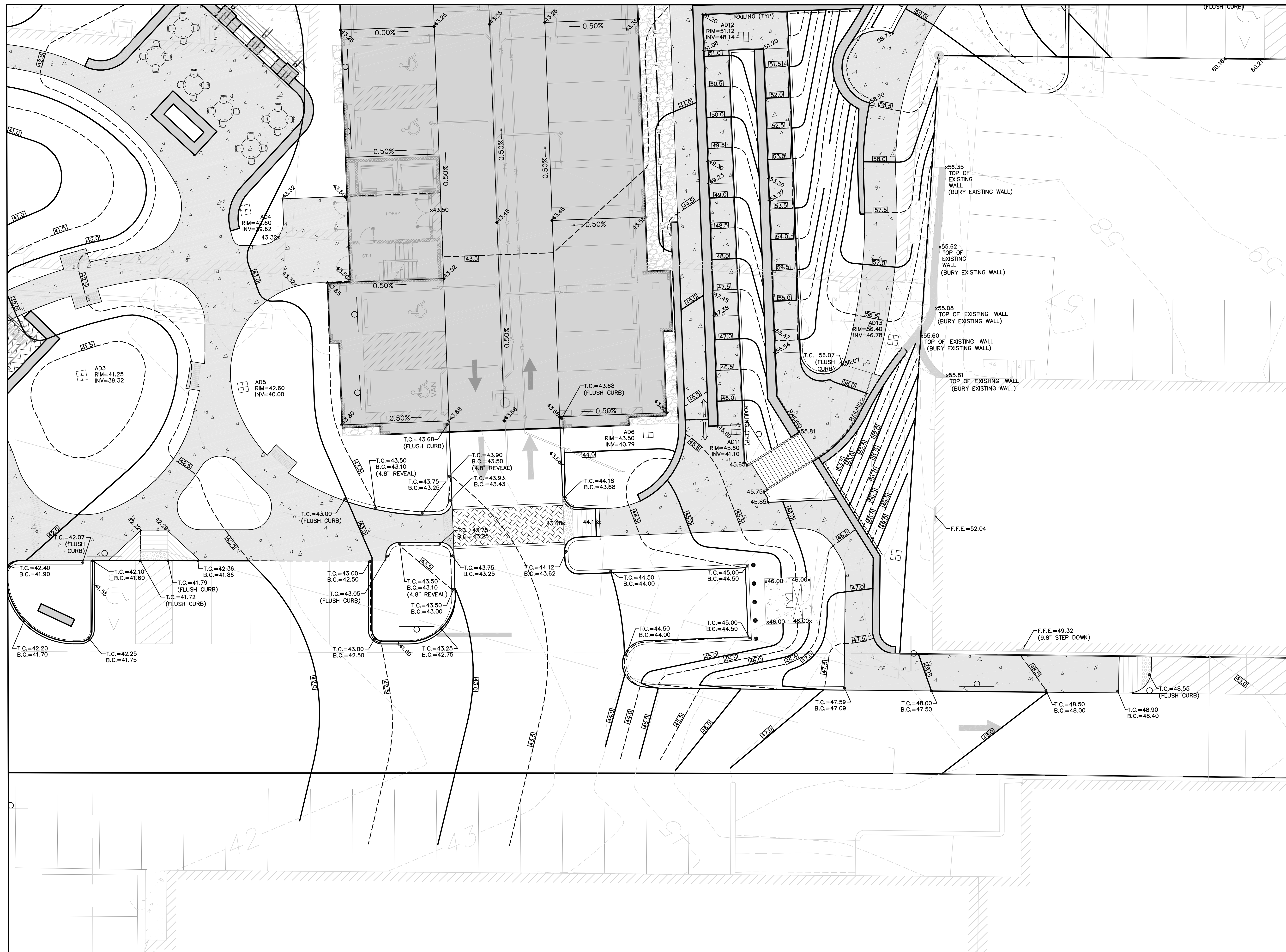
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.Proposed
Spot Grade
Plan

C-10E

DETAILED SPOT GRADE PLAN
SCALE: 1"=10'

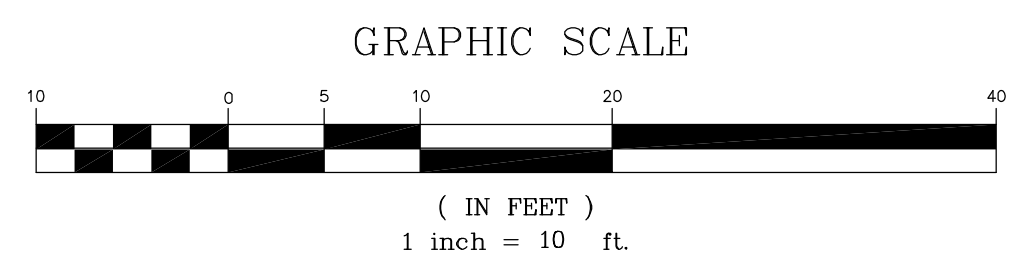
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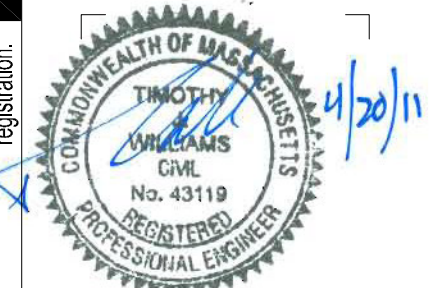
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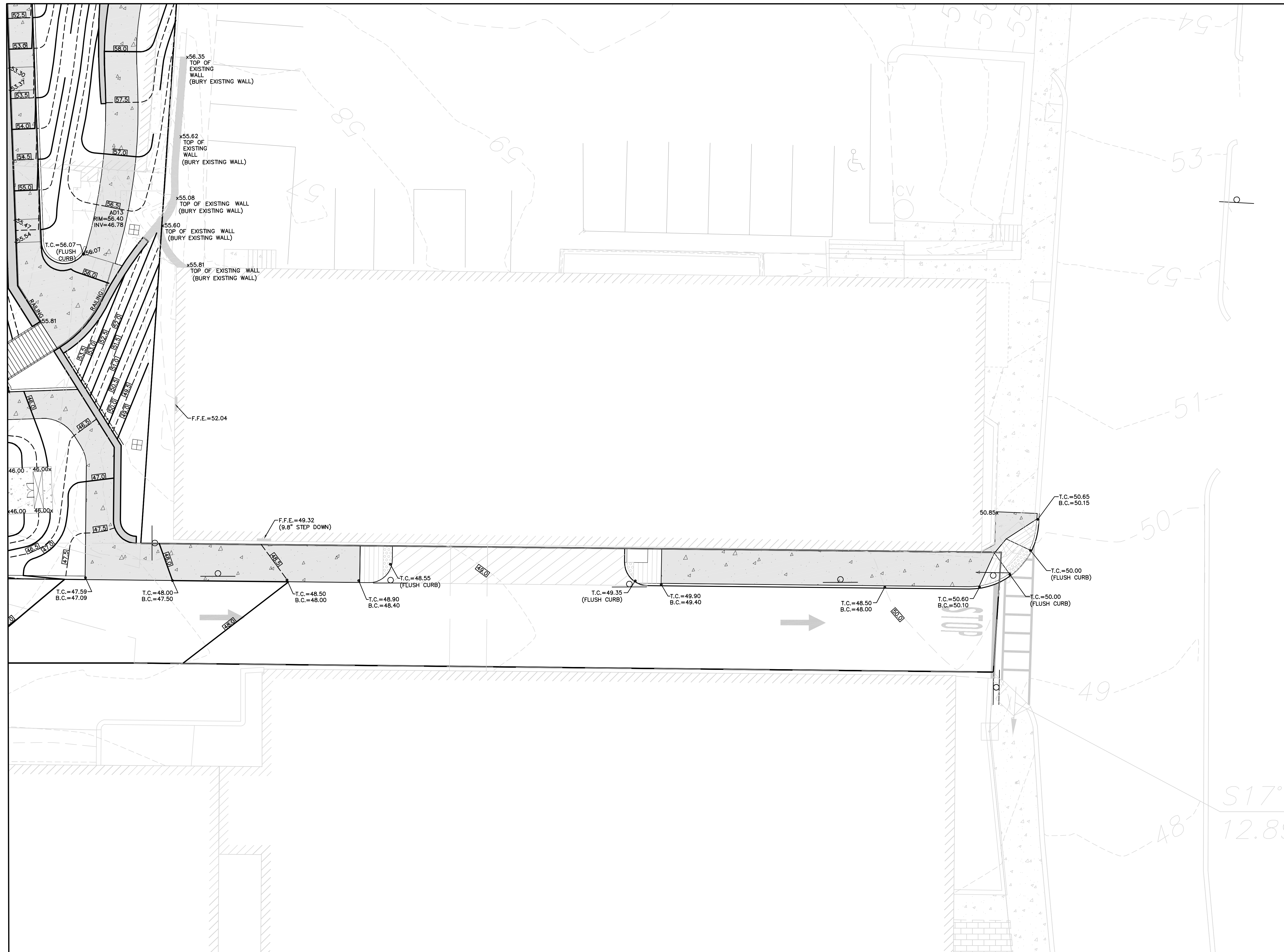
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C-10F



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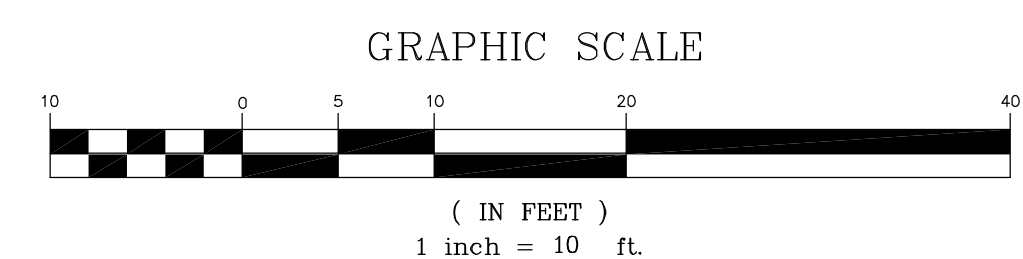
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9 50% ARB SUBMISSION 03-04-11

8 SECTION 8.12(11) 02-17-11

7 PER TOWN COMMENTS 01-11-11

6 PER CON. COM. 12-13-10

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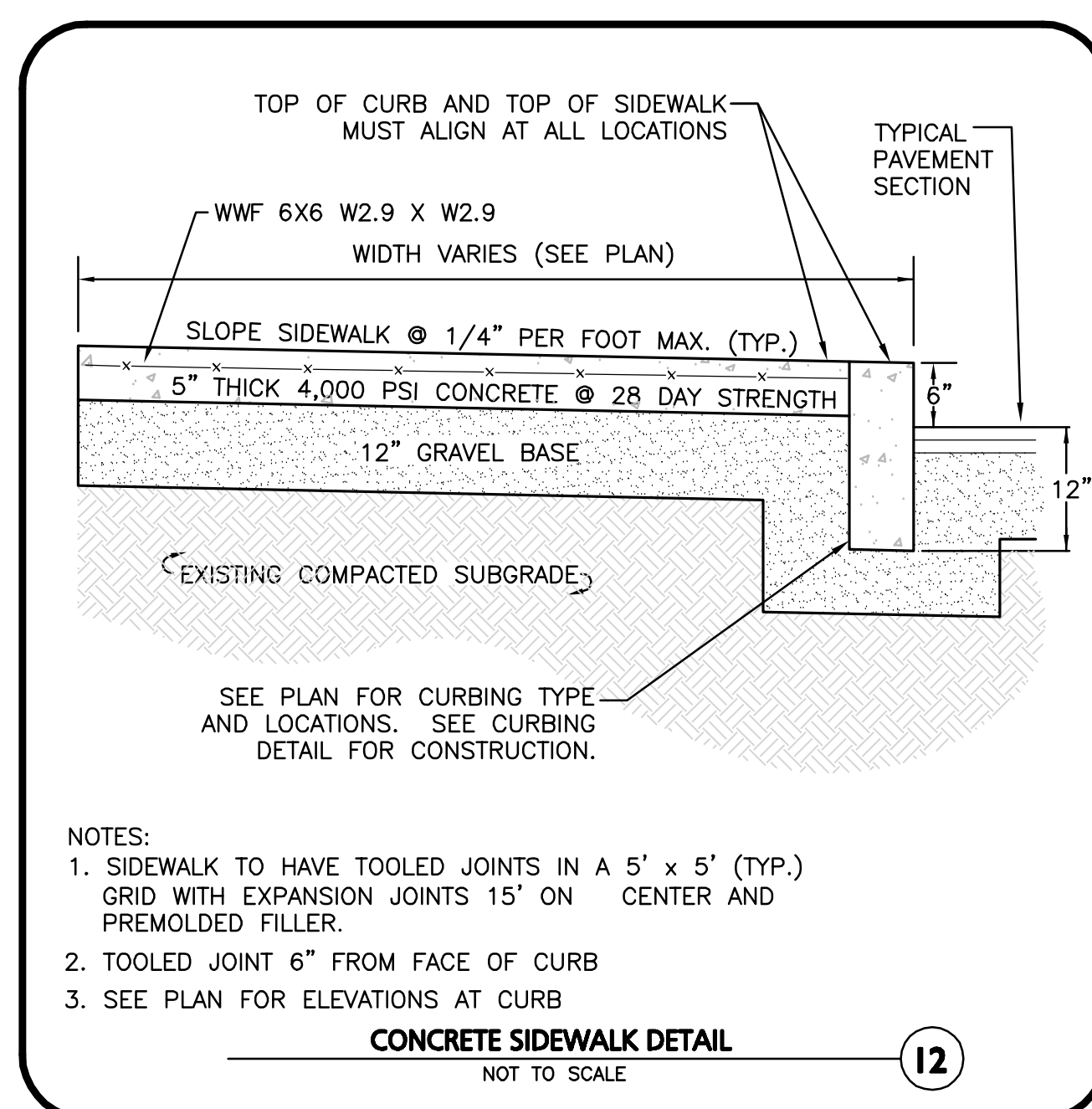
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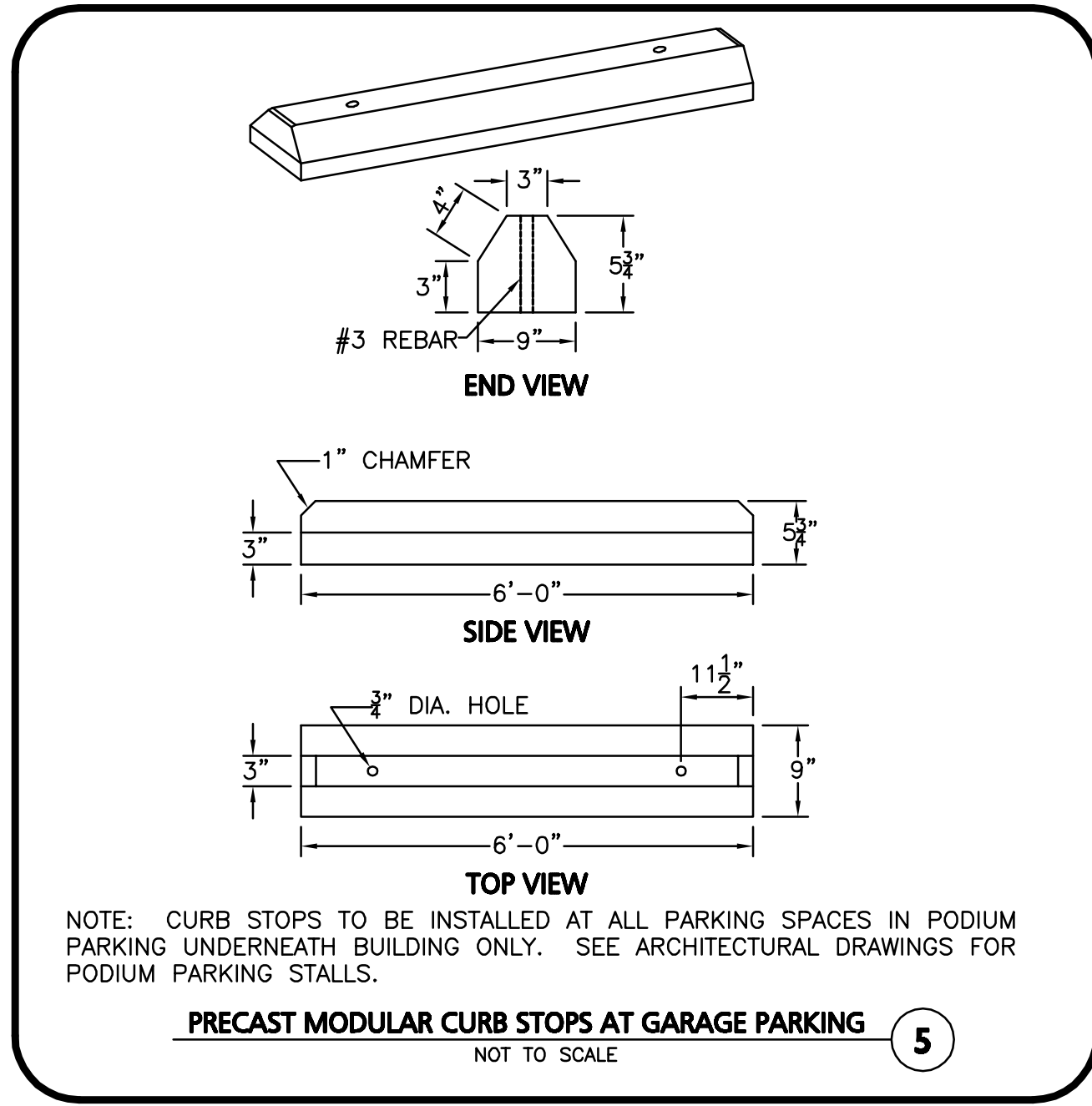
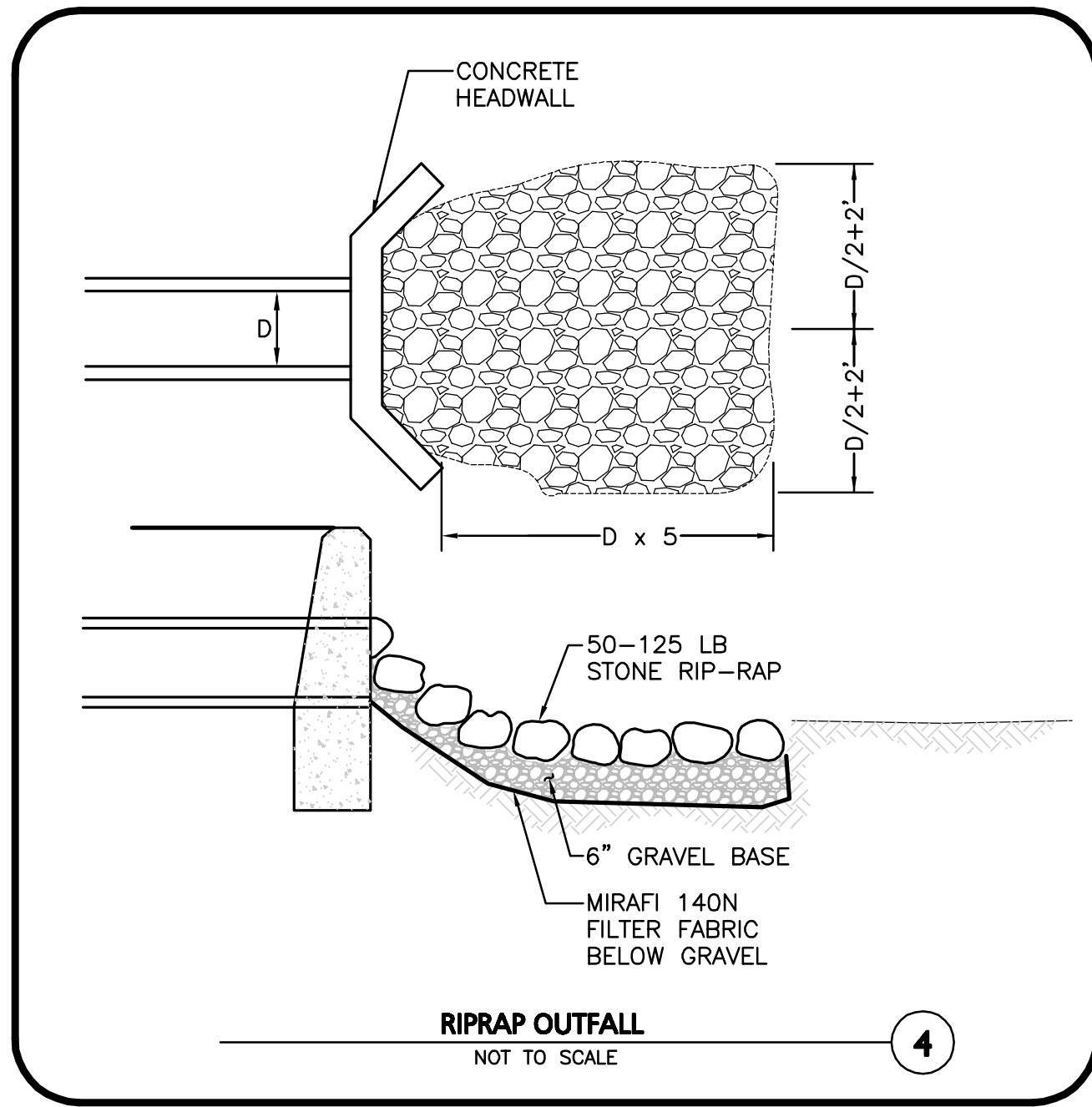
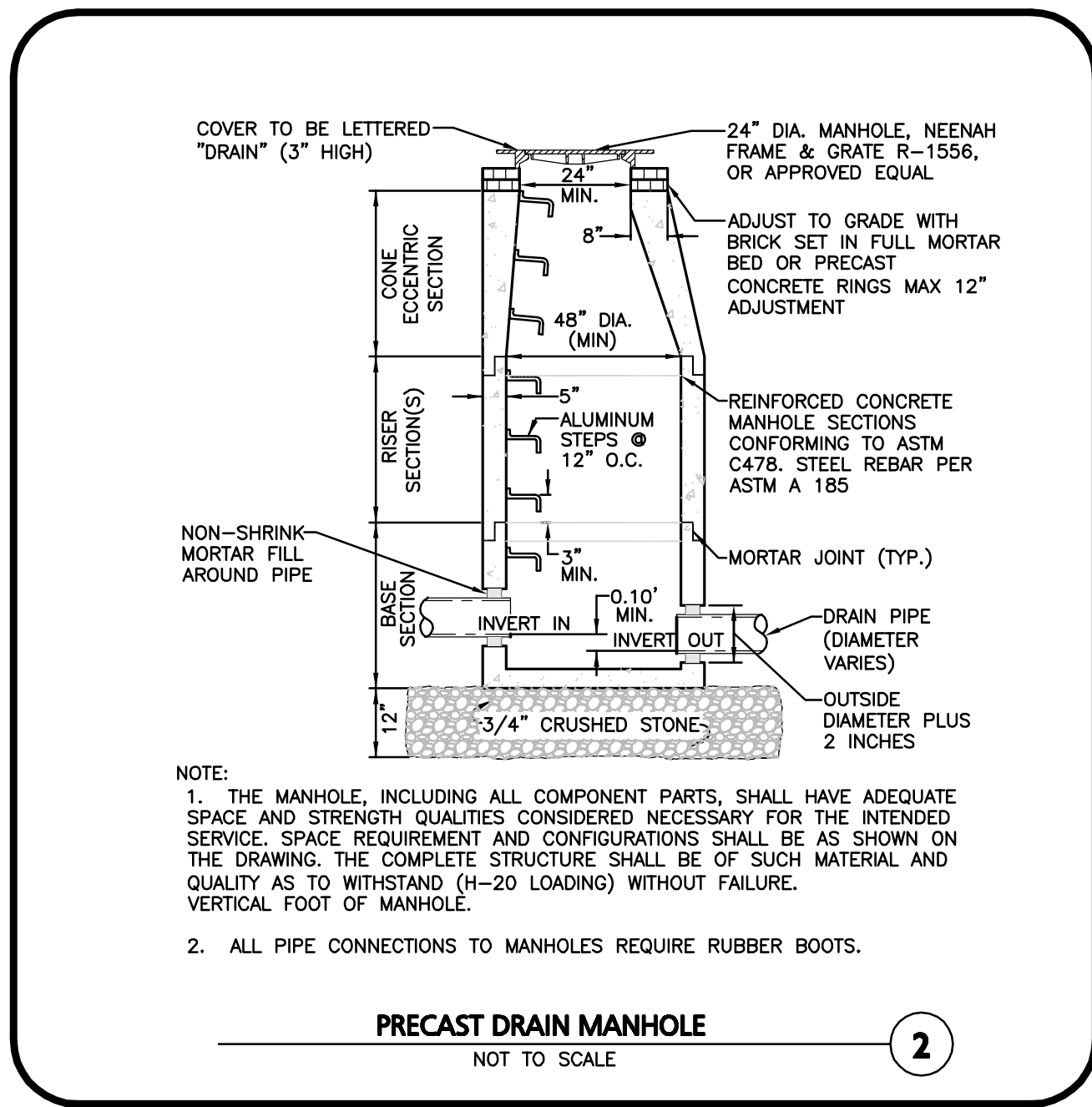
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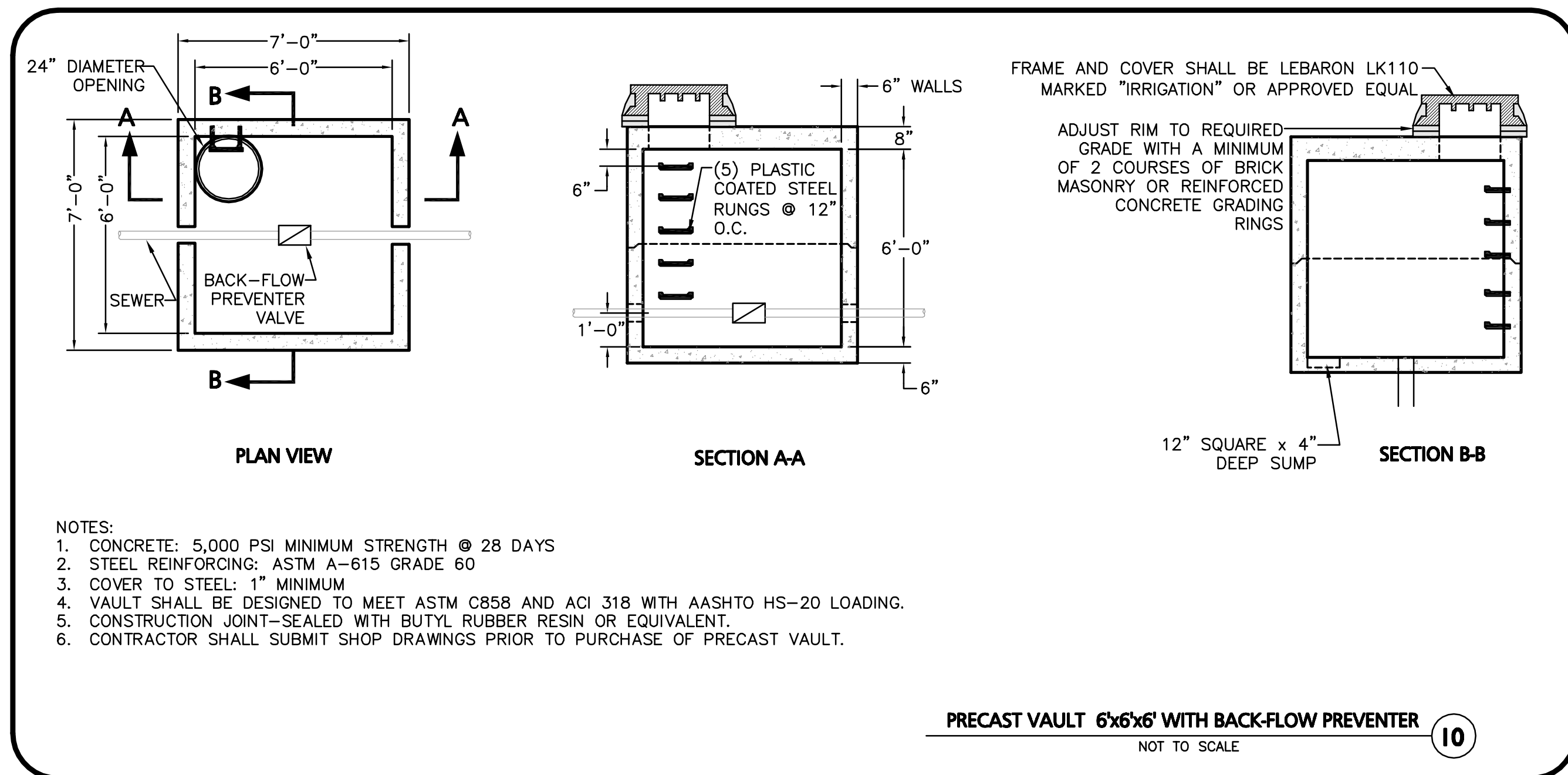
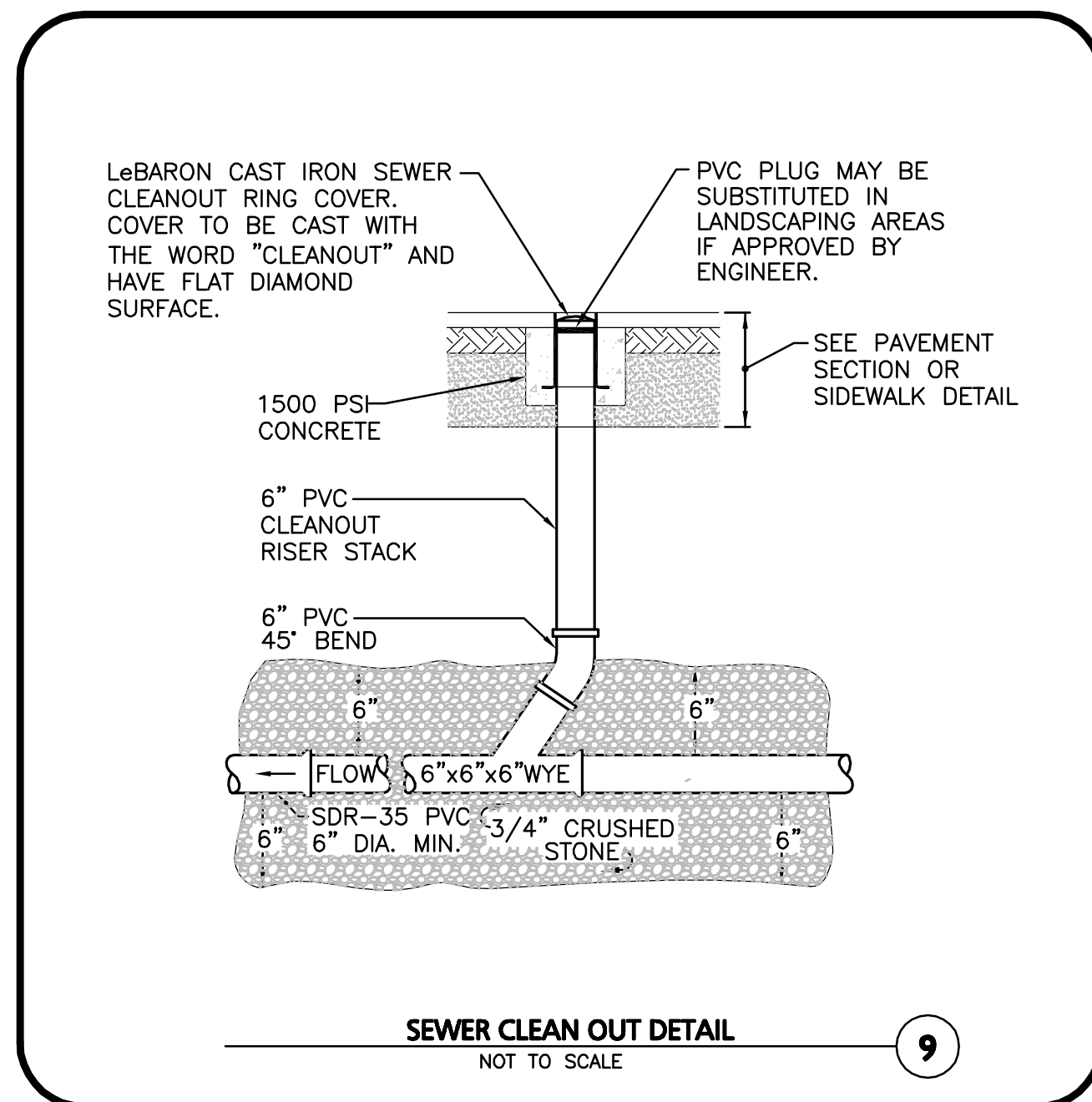
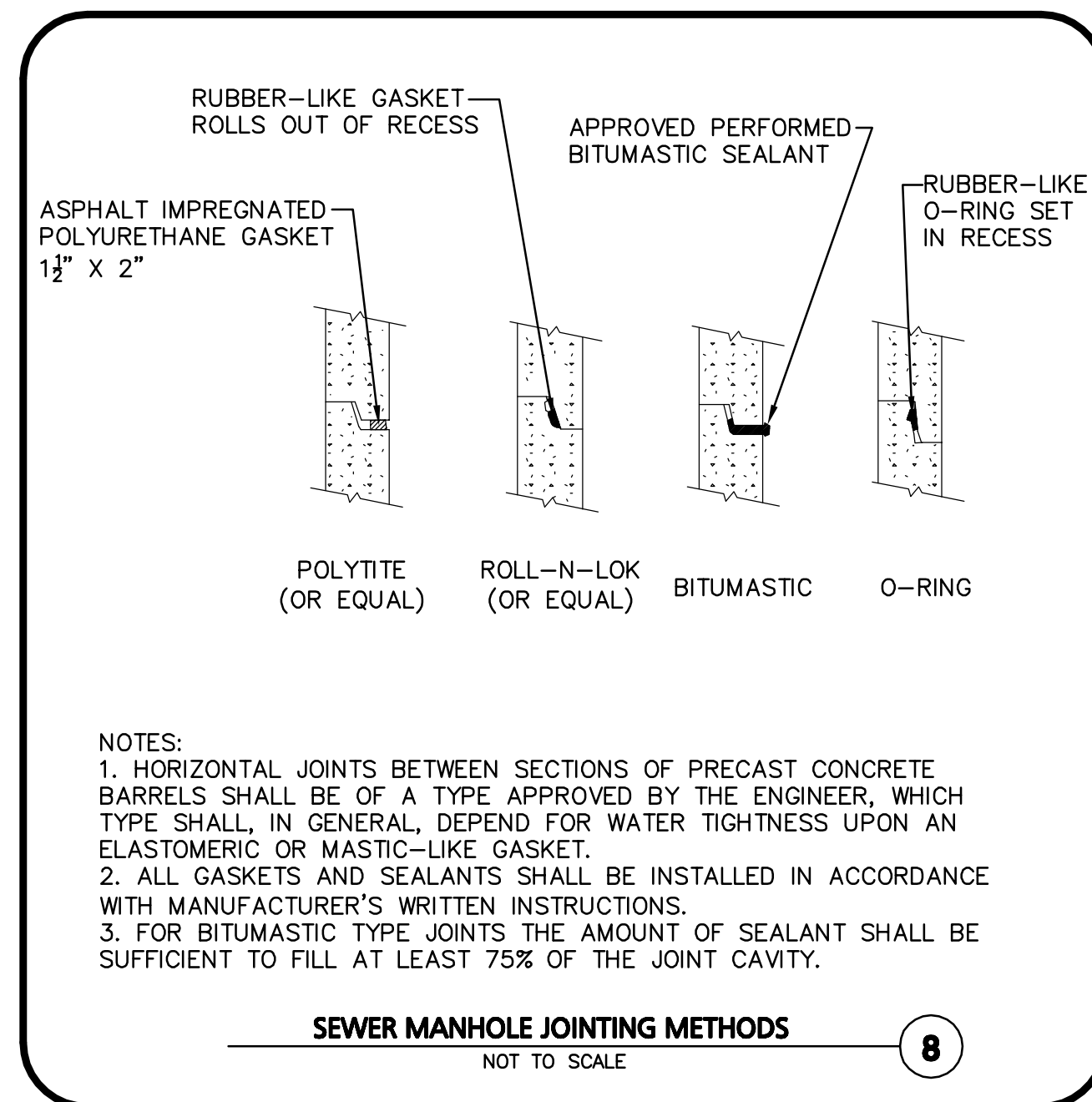
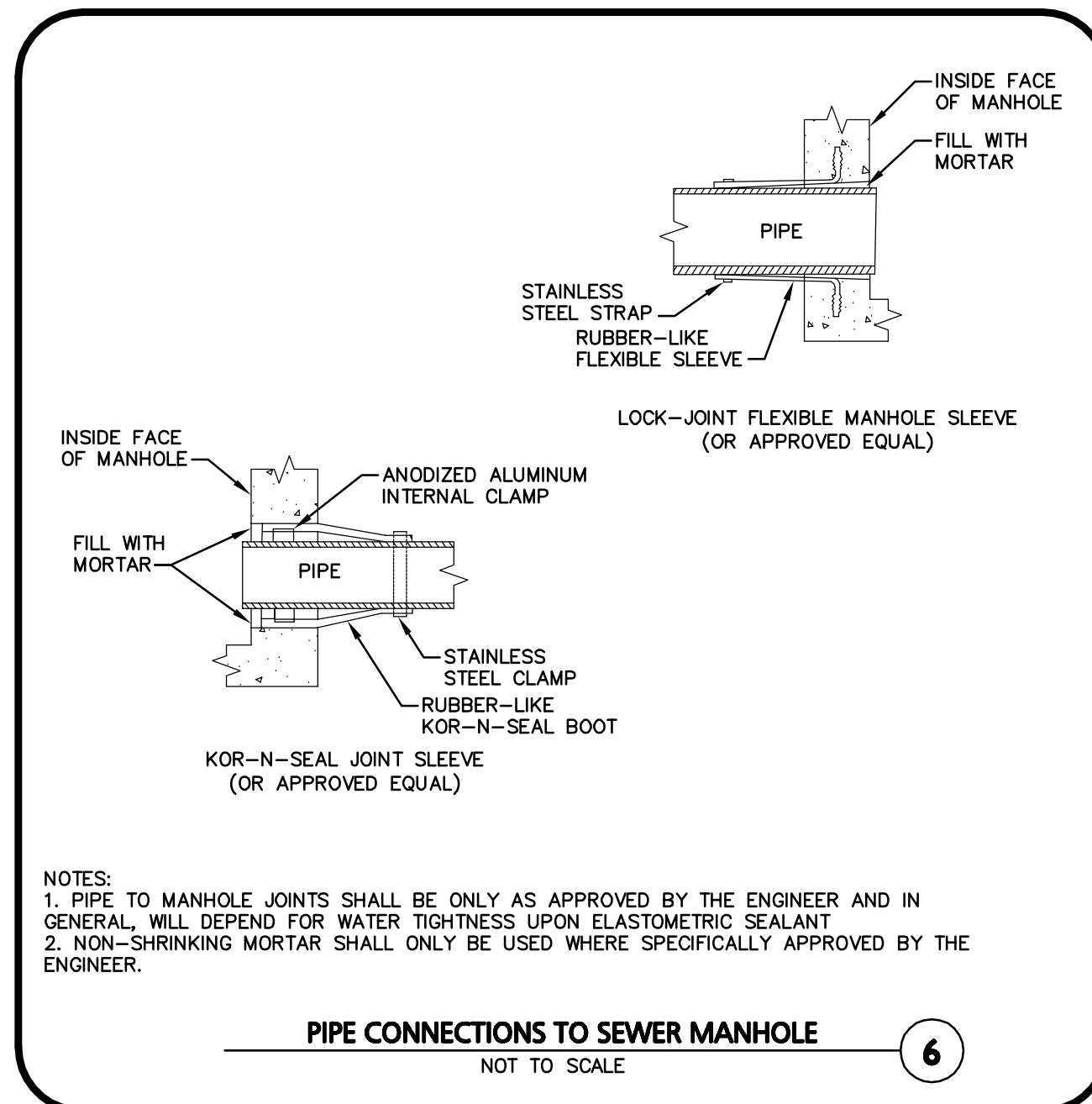
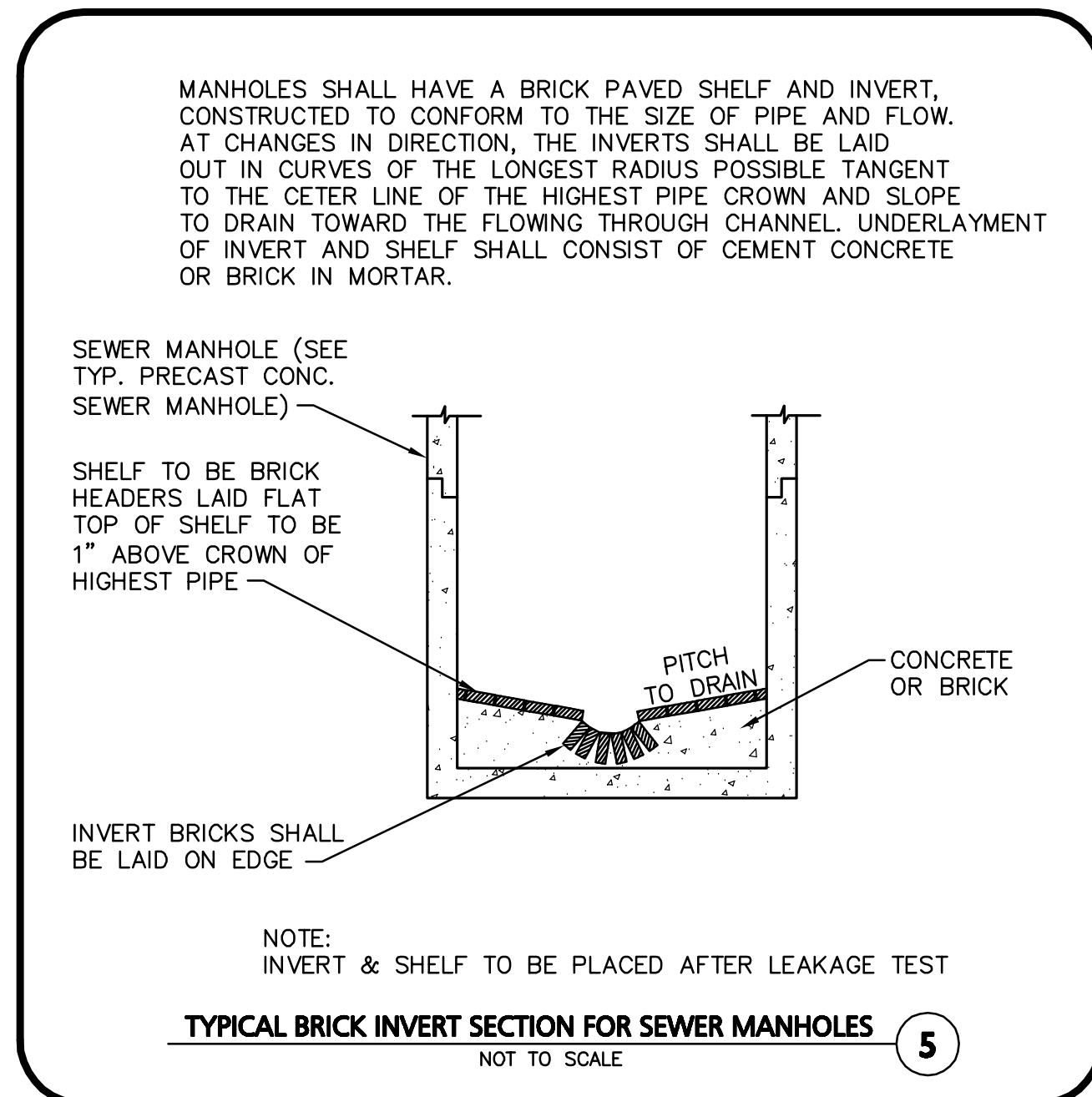
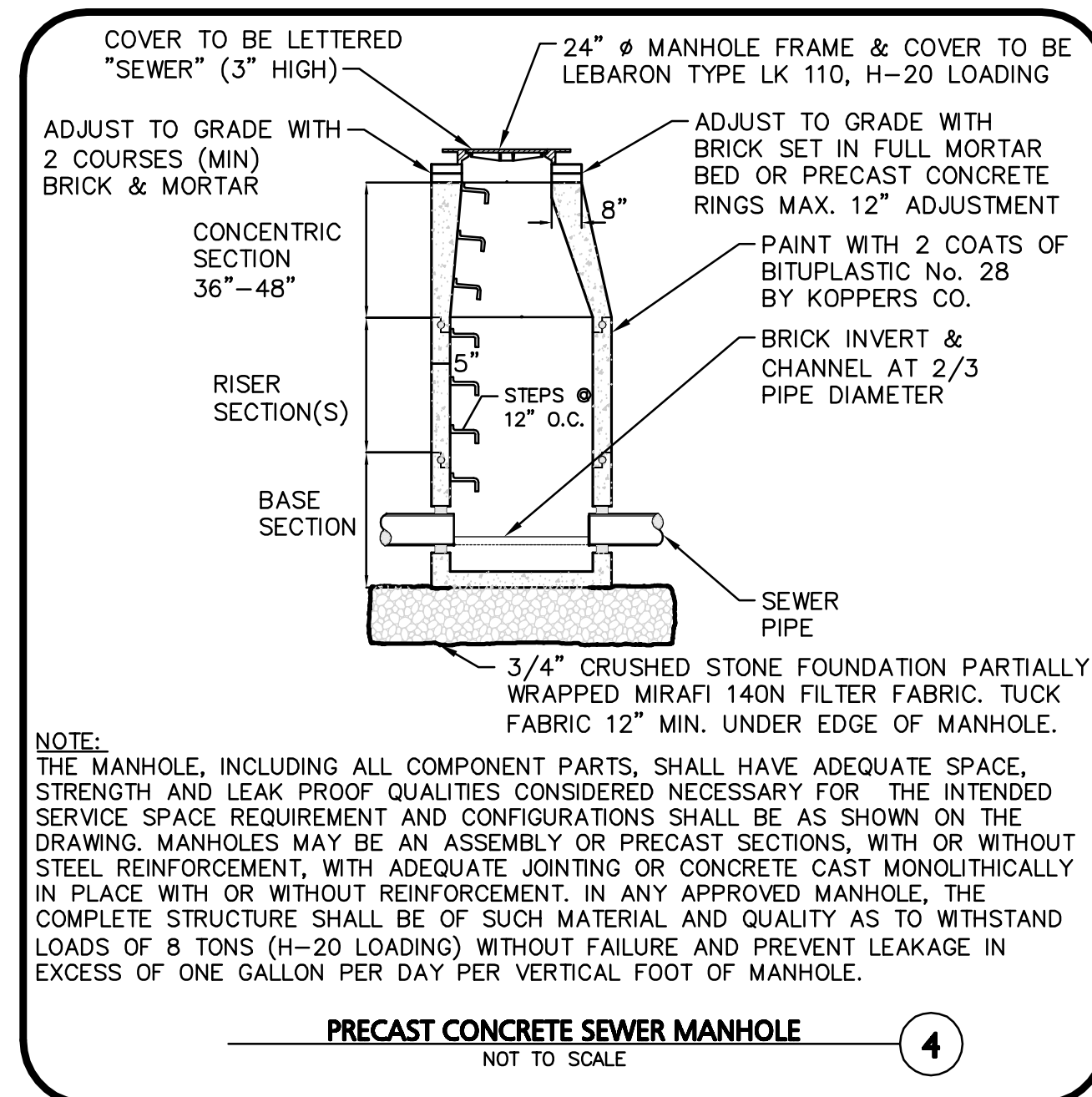
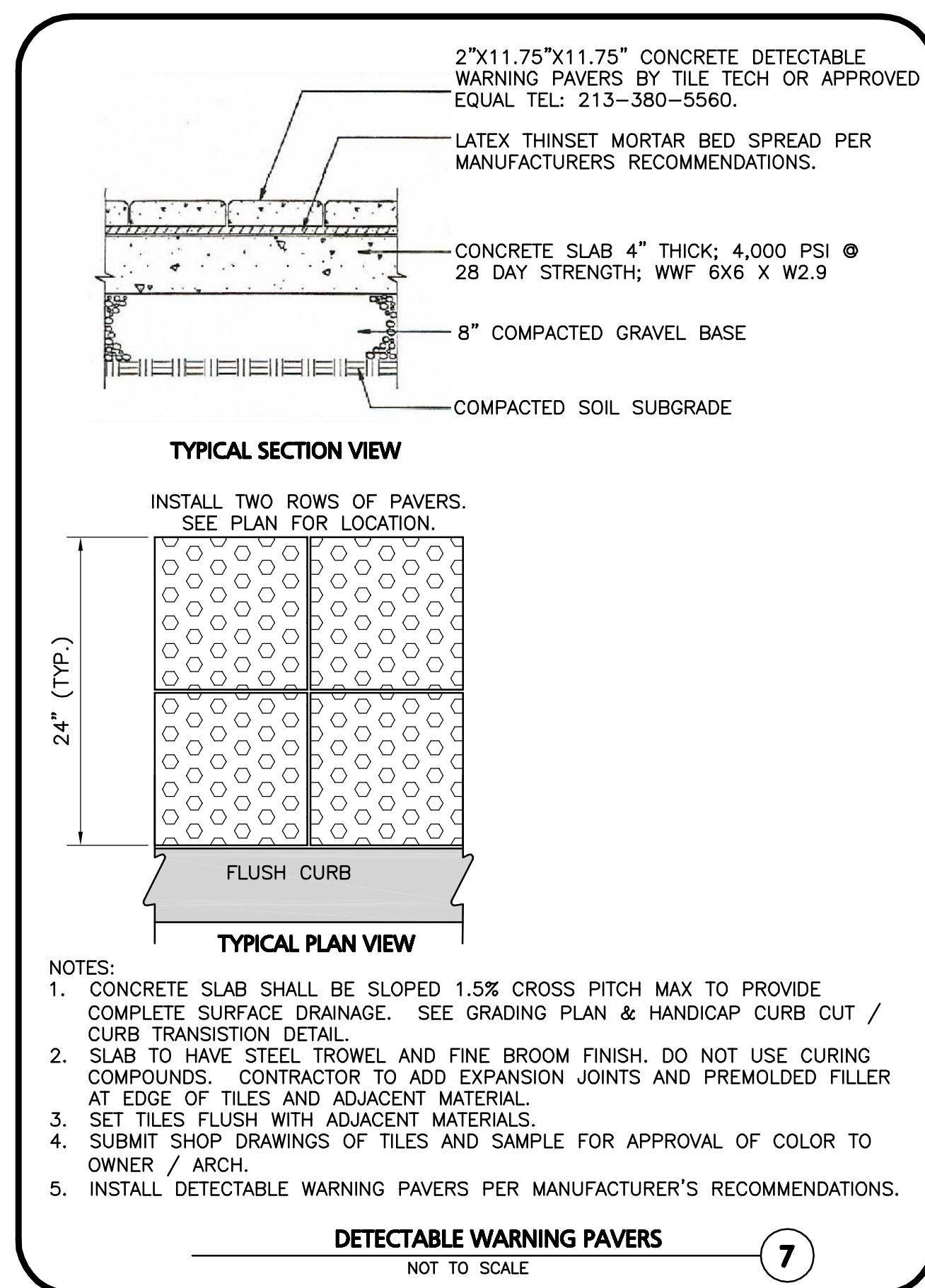
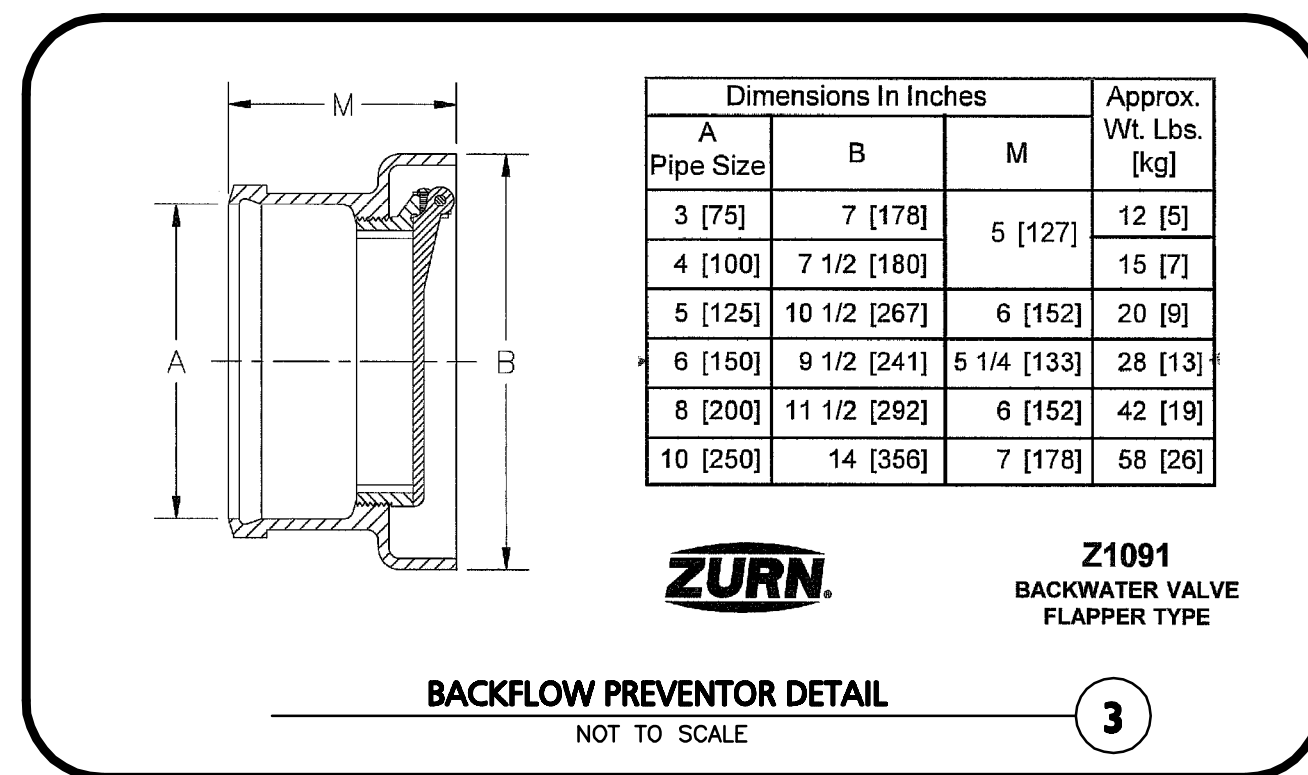
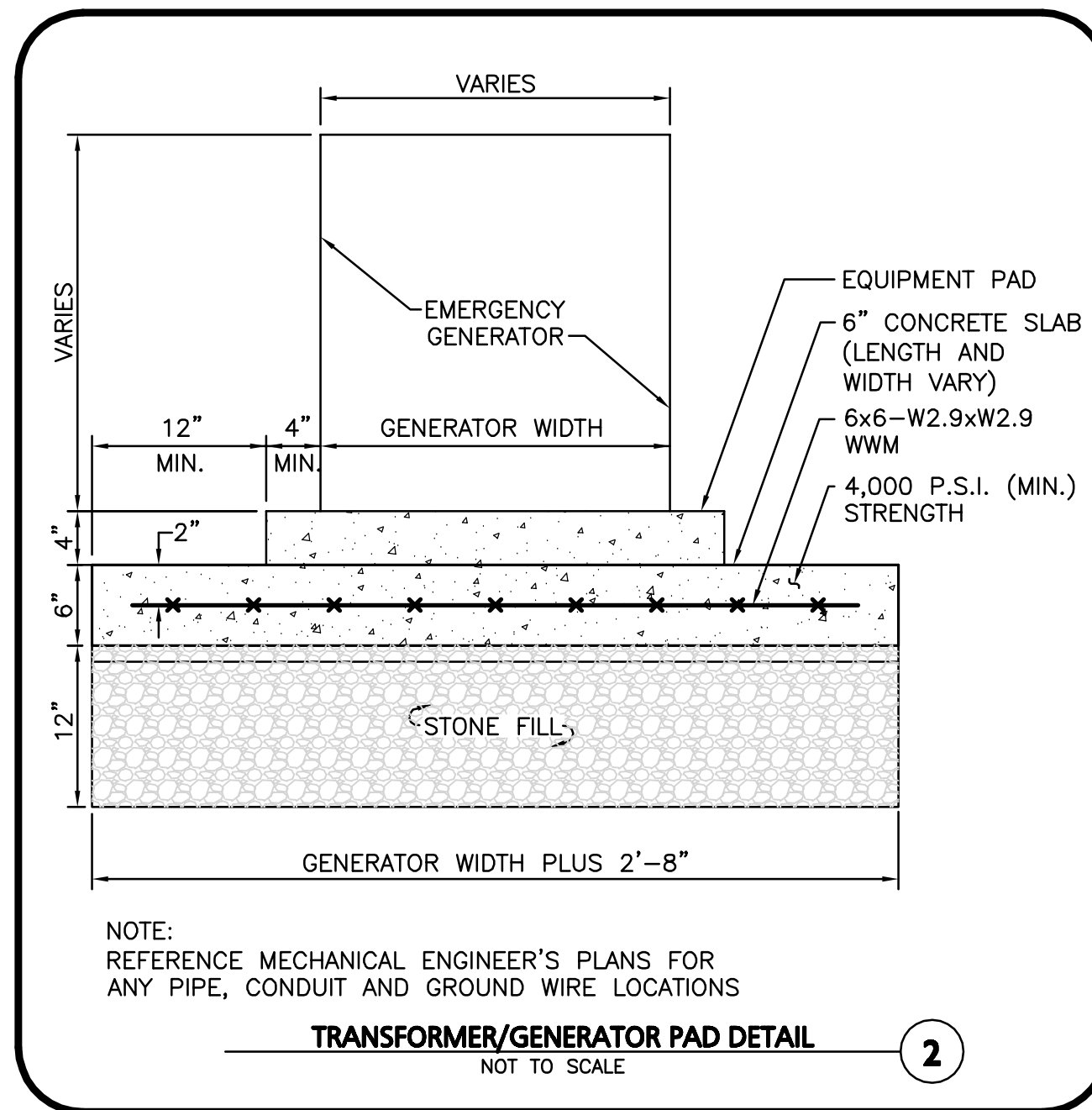
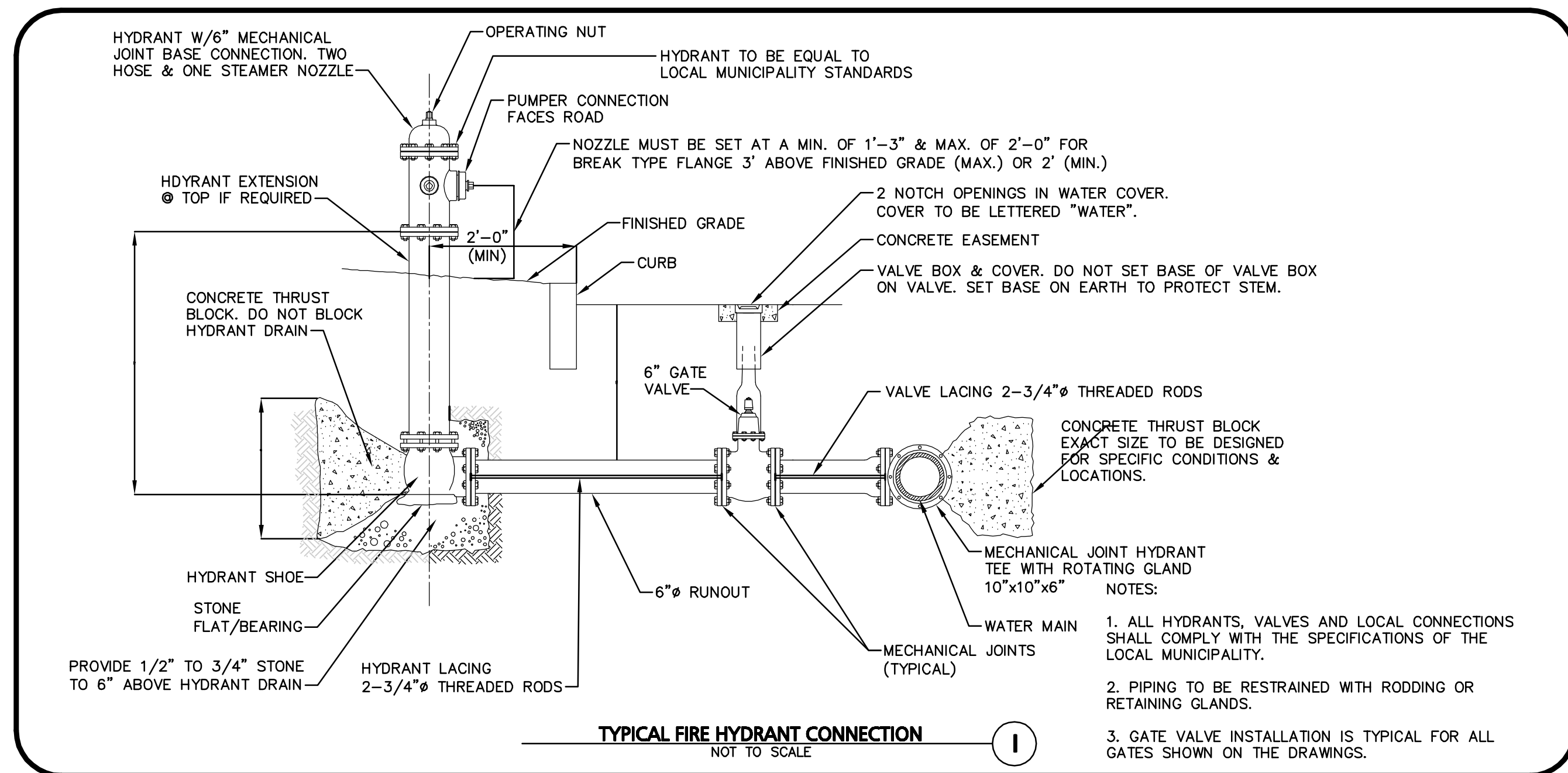
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name: **Details**



SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

D-4

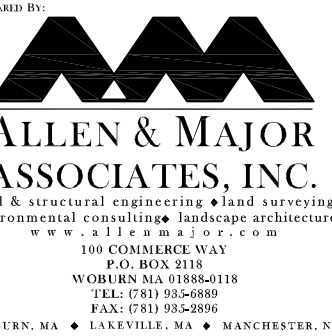
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**Mill Street
Residential &
Retail
Development**

30-50 Mill Street
Arlington, MA

**WP East
Development
Enterprises, LLC**

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA



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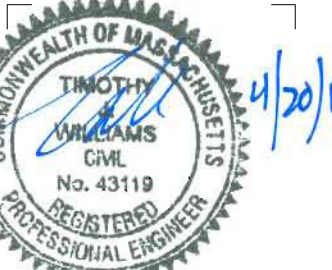
Permit - GMP Set

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CONSTRUCTION**

drawing by: BDJ, RB
drawing checked by: TJW
drawing scale: NTS
drawing date: 03.15.10
drawing revisions:
project number: 1670-01

rev. description date

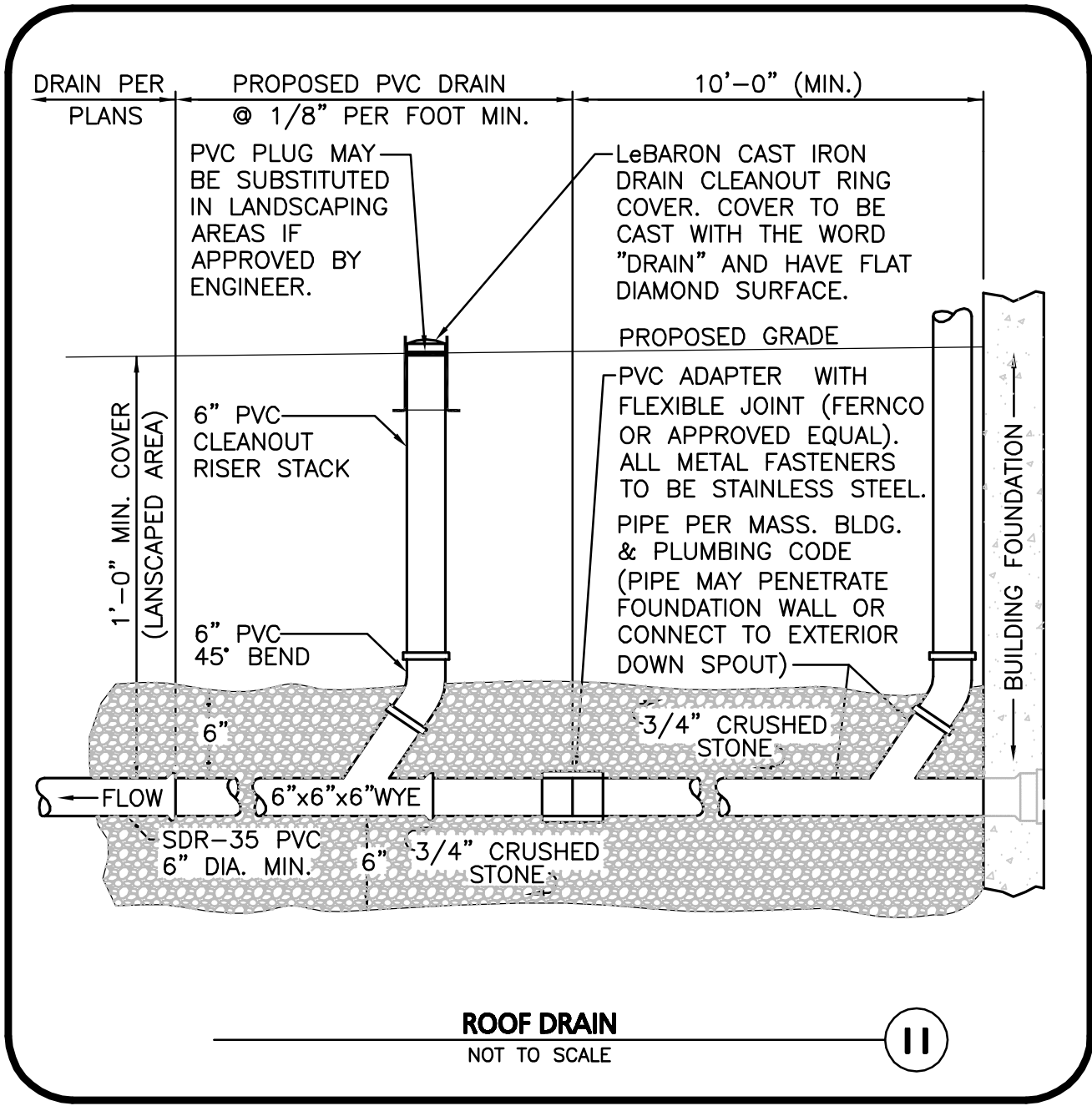
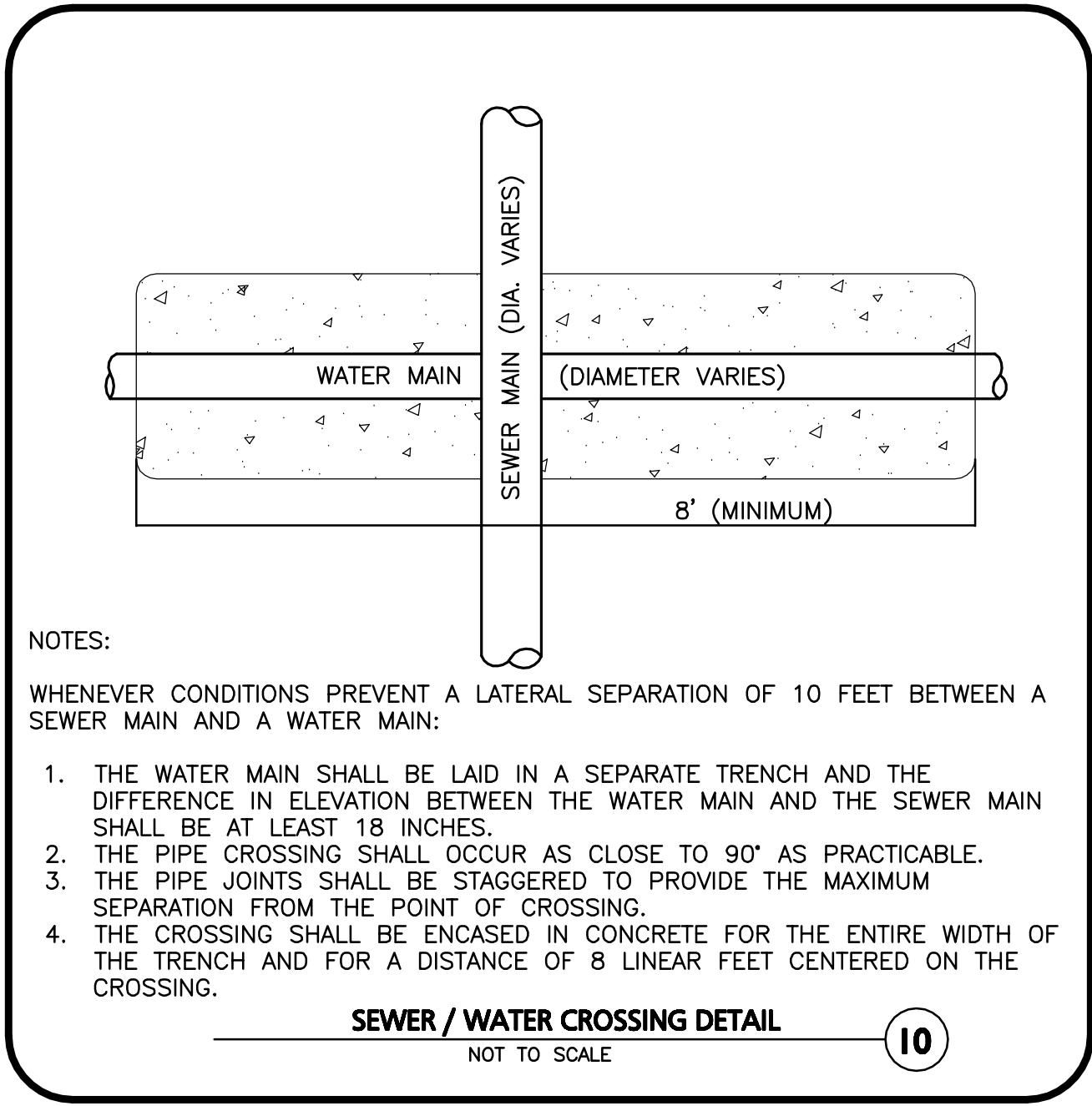
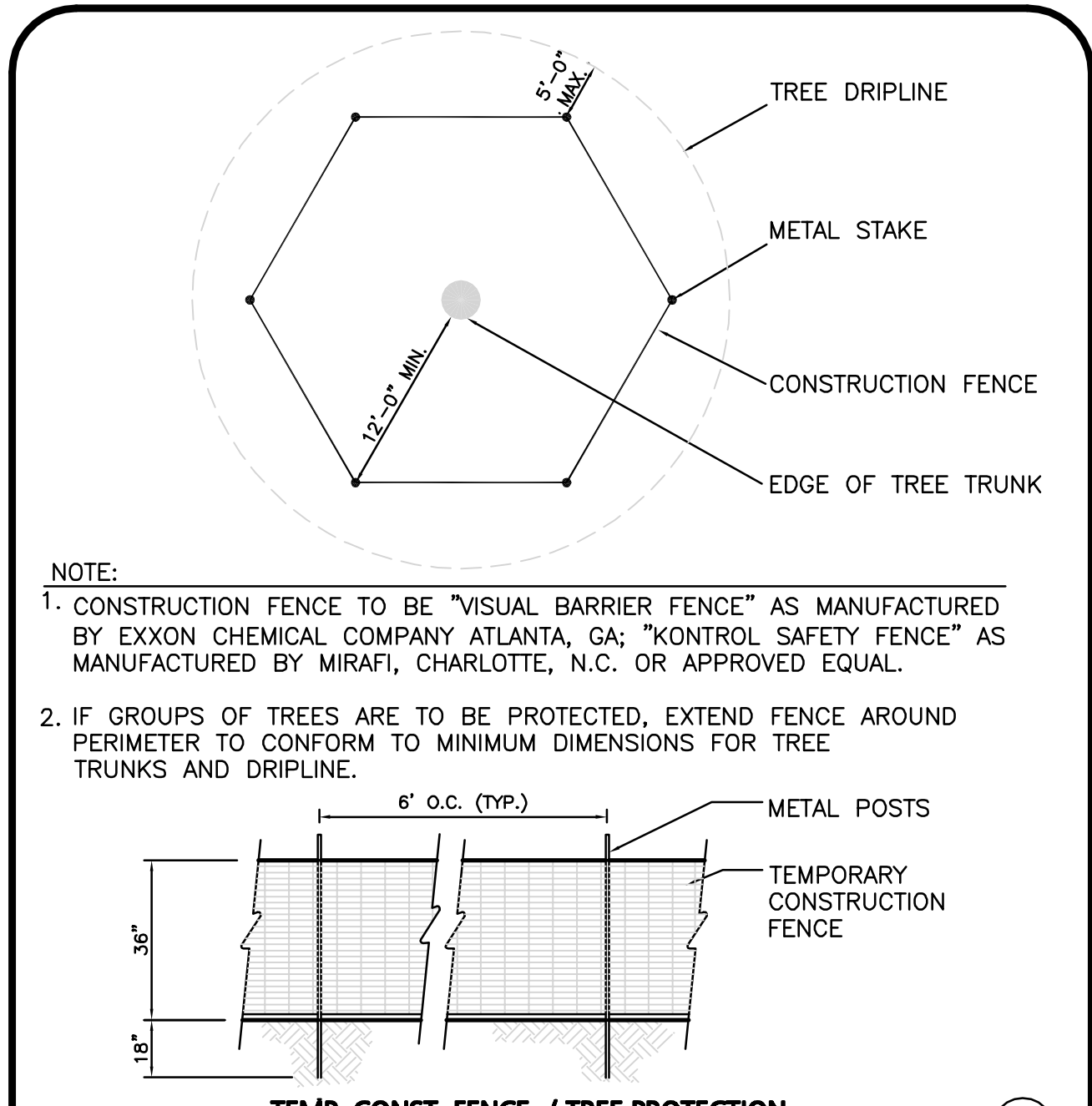
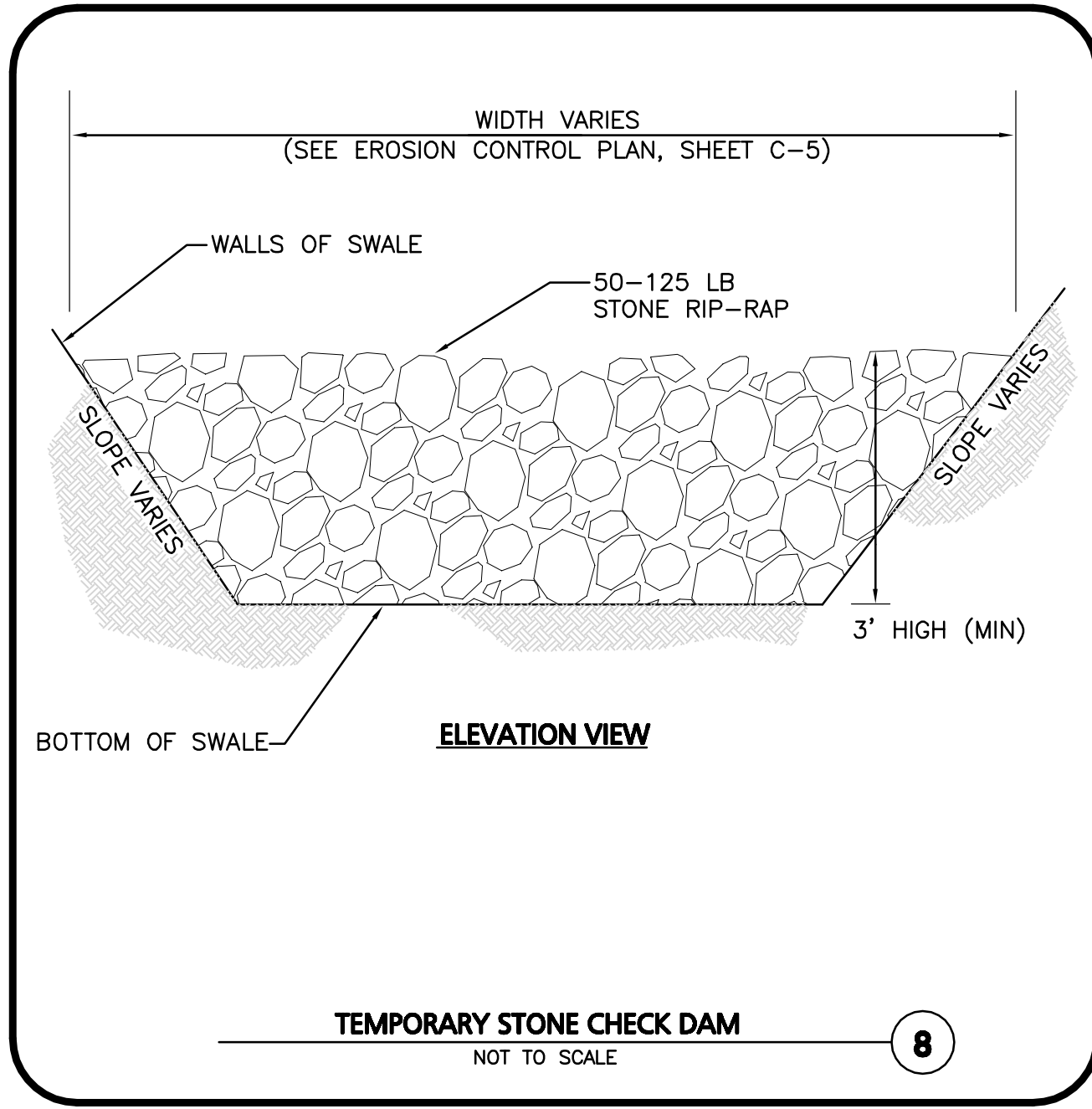
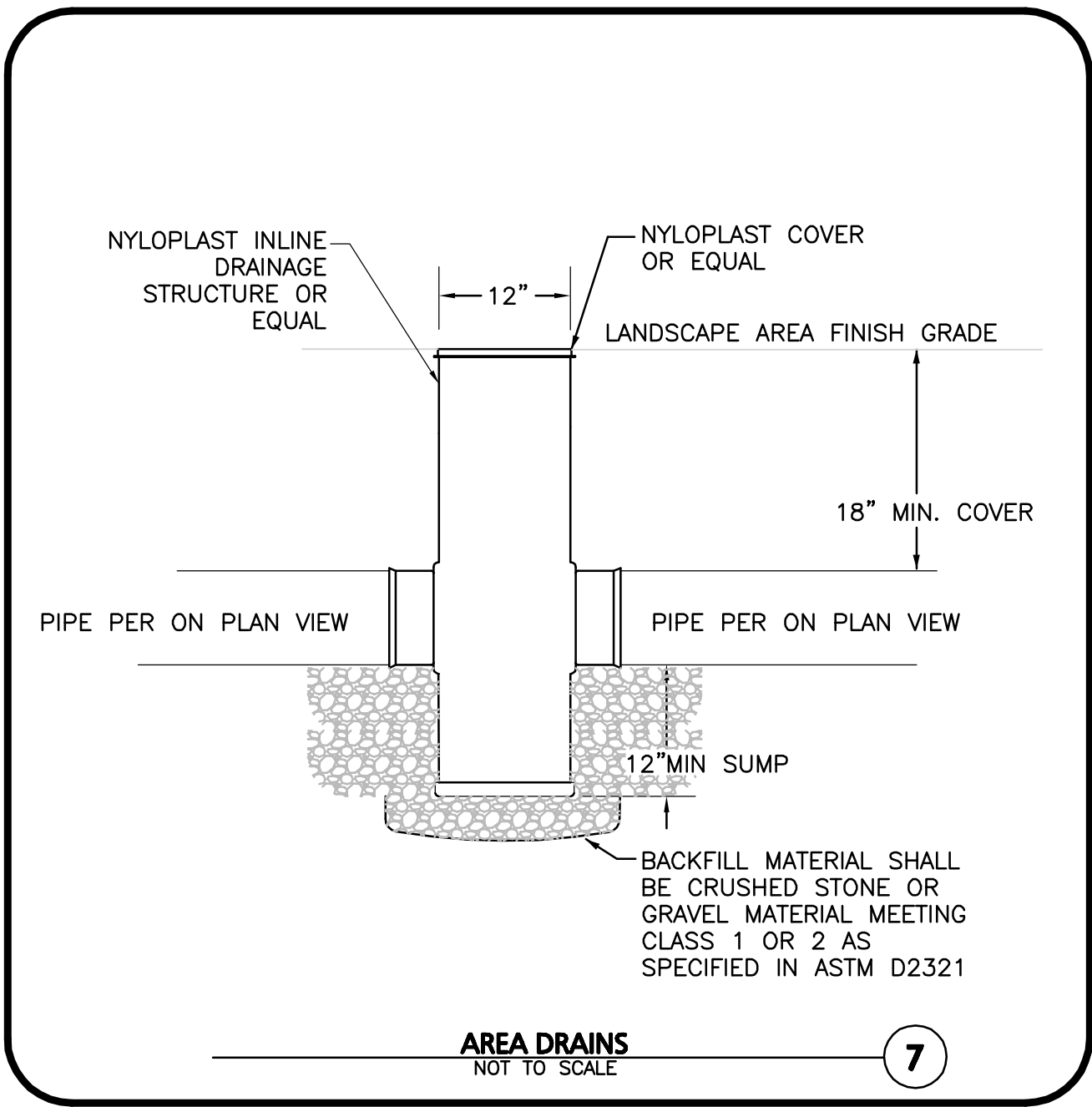
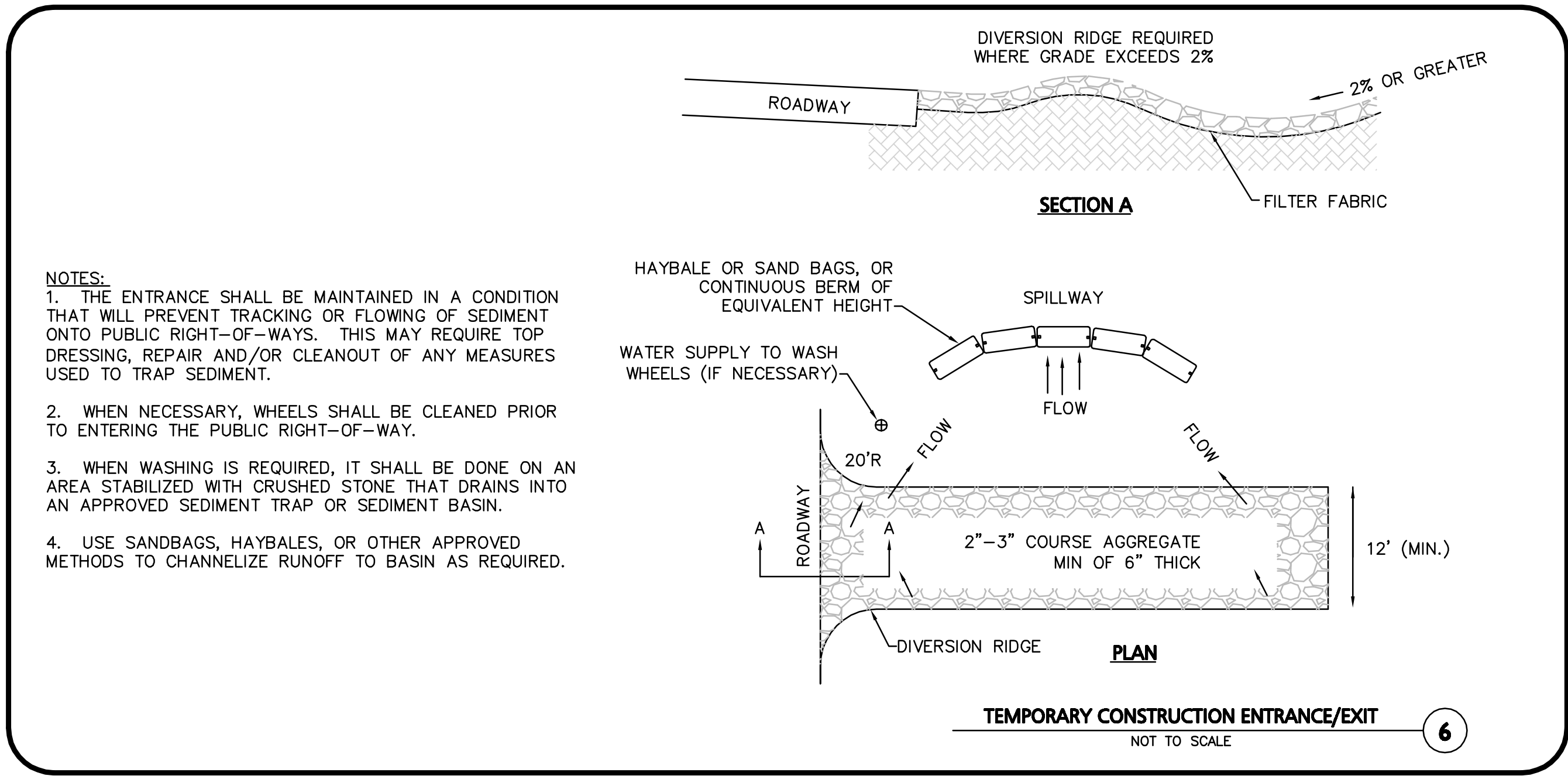
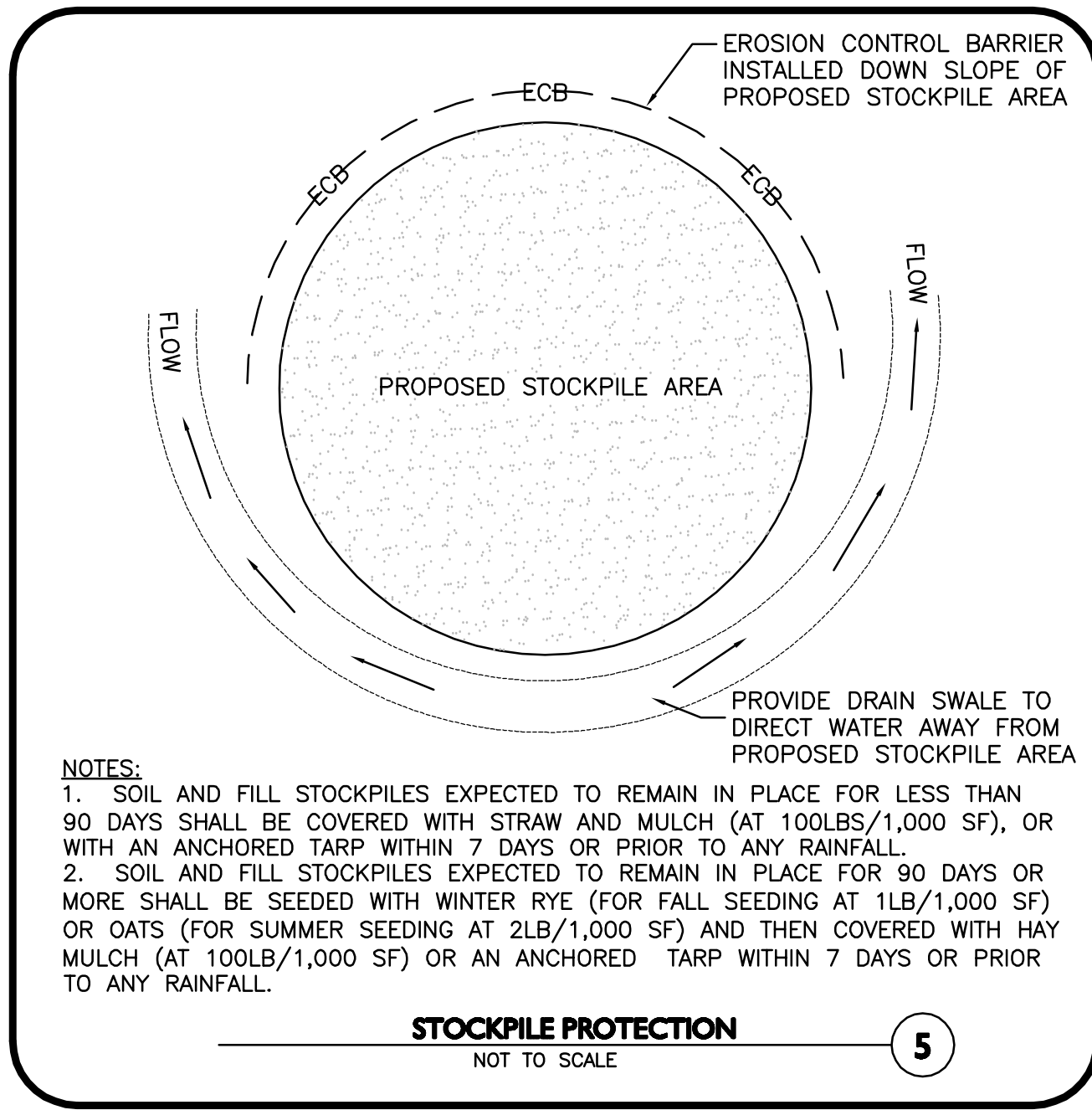
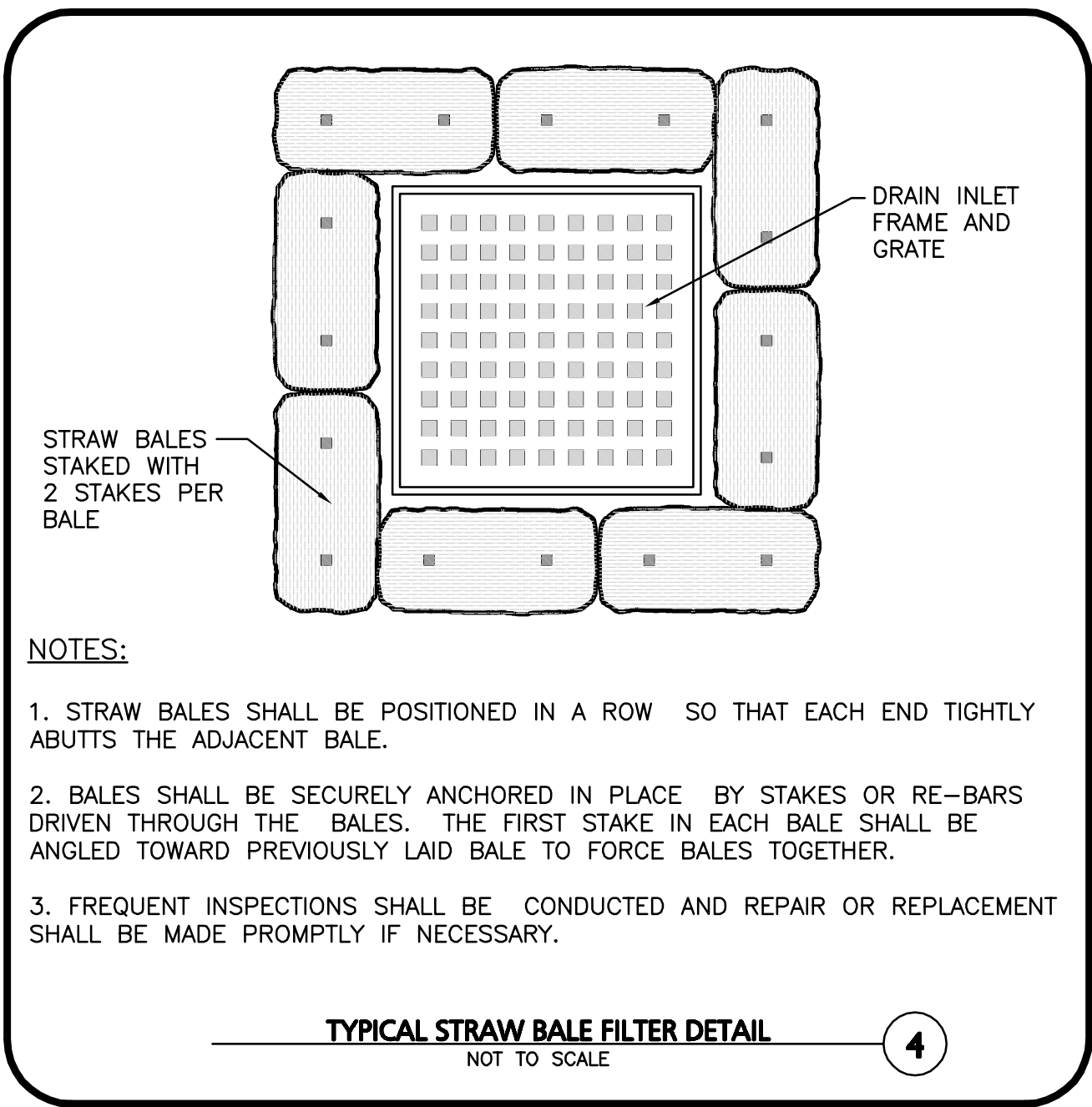
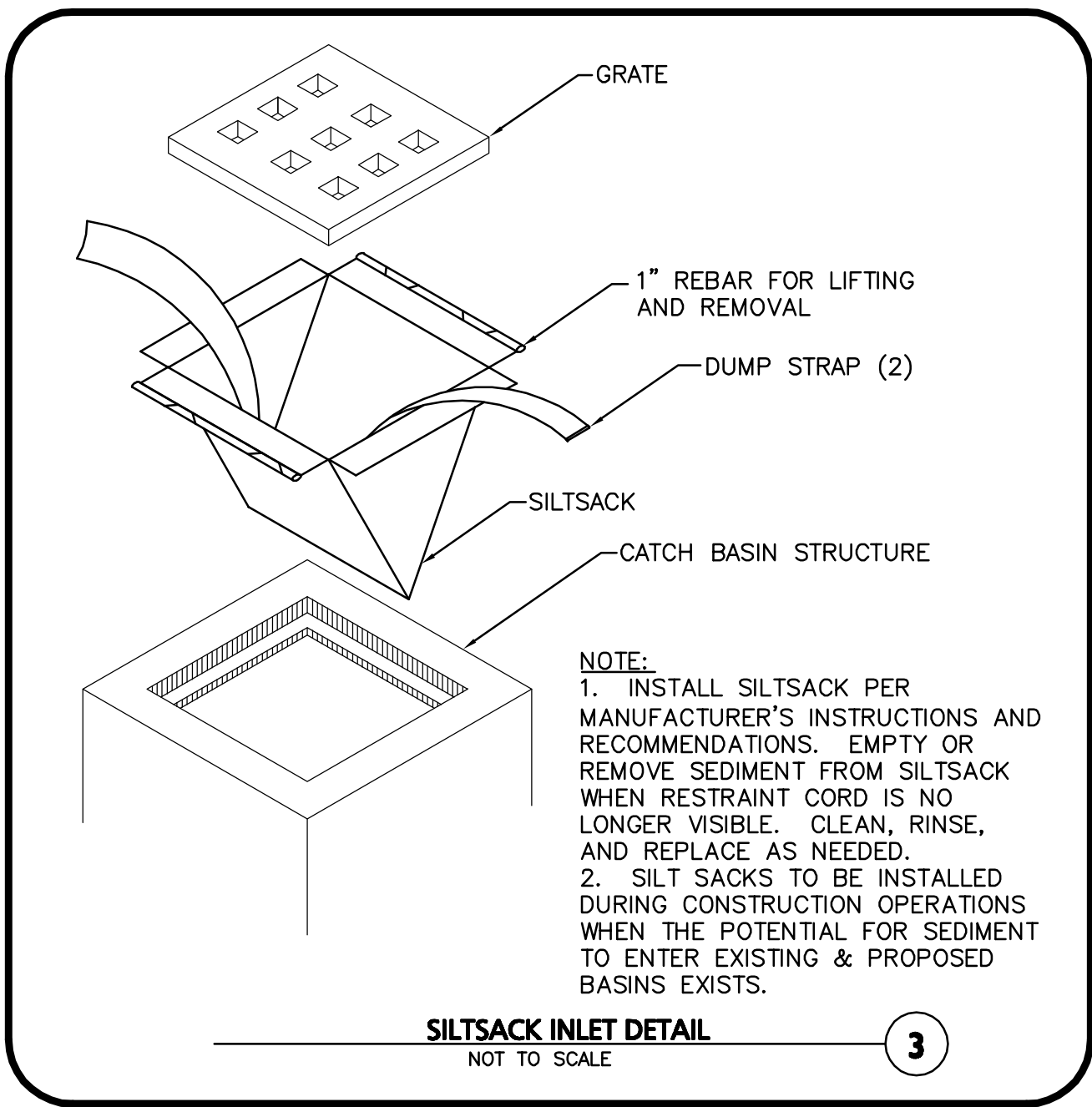
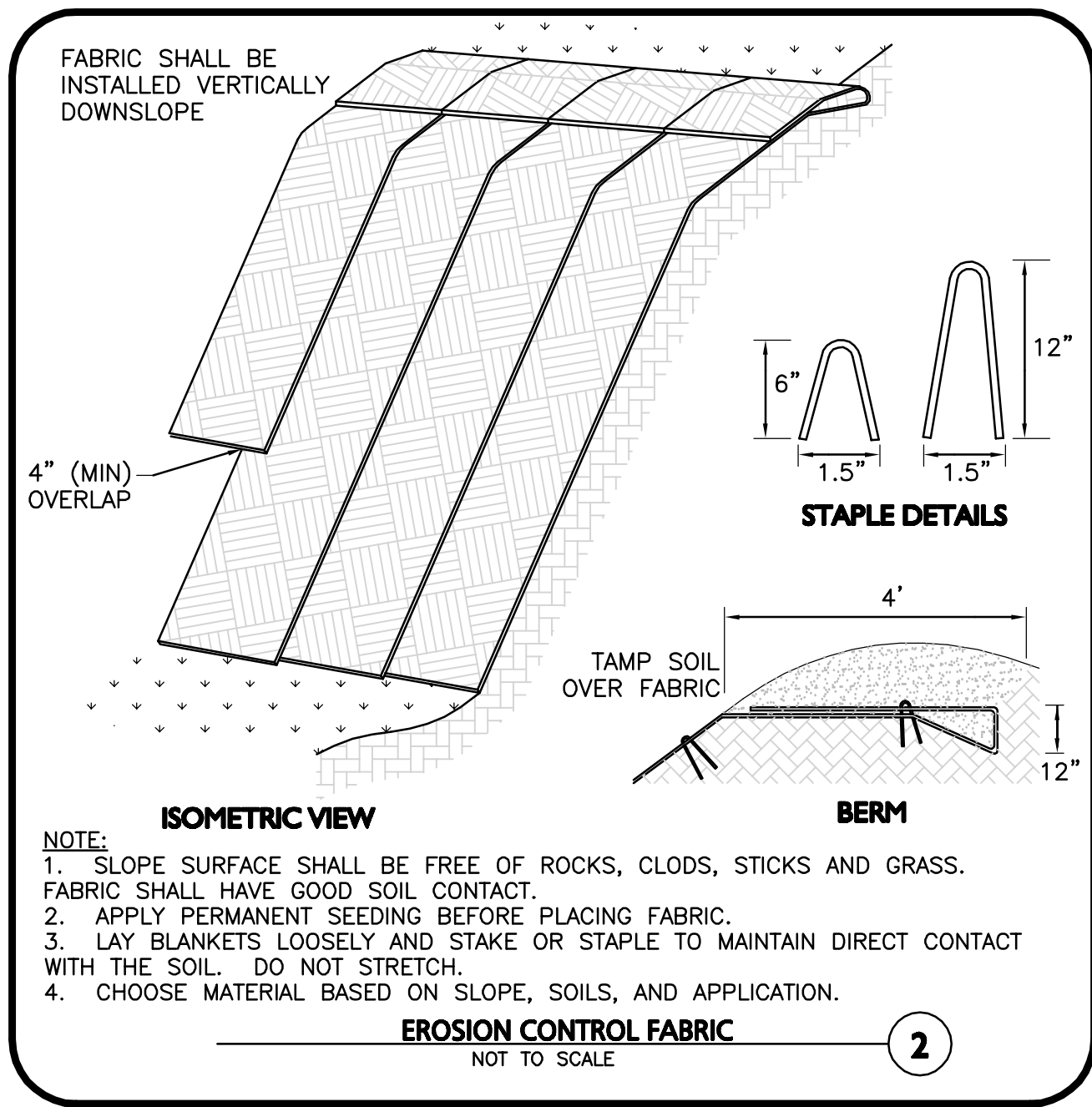
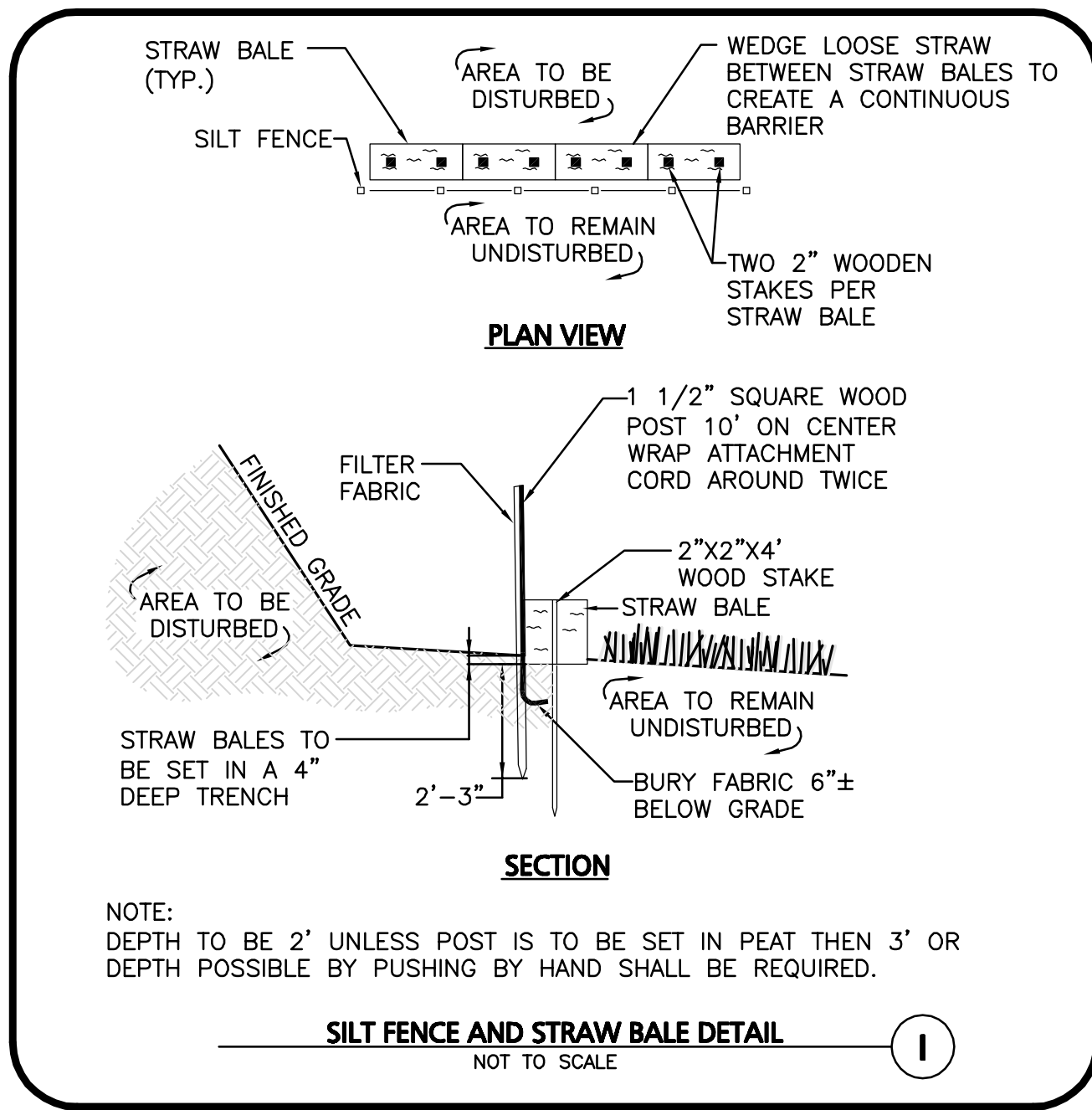
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| 10 | MVRA 8M PERMIT | 03-08-11 |
| 9 | 50% ARB SUBMISSION | 03-04-11 |
| 8 | SECTION 8.12(11) SPECIAL PERMIT | 02-17-11 |
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| 1 | PER TOWN COMMENTS | 06-16-10 |



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

Details

D-5



APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS
• MINIMUM LOT FRONTAGE
• MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

30-50 Mill Street
Arlington, MA

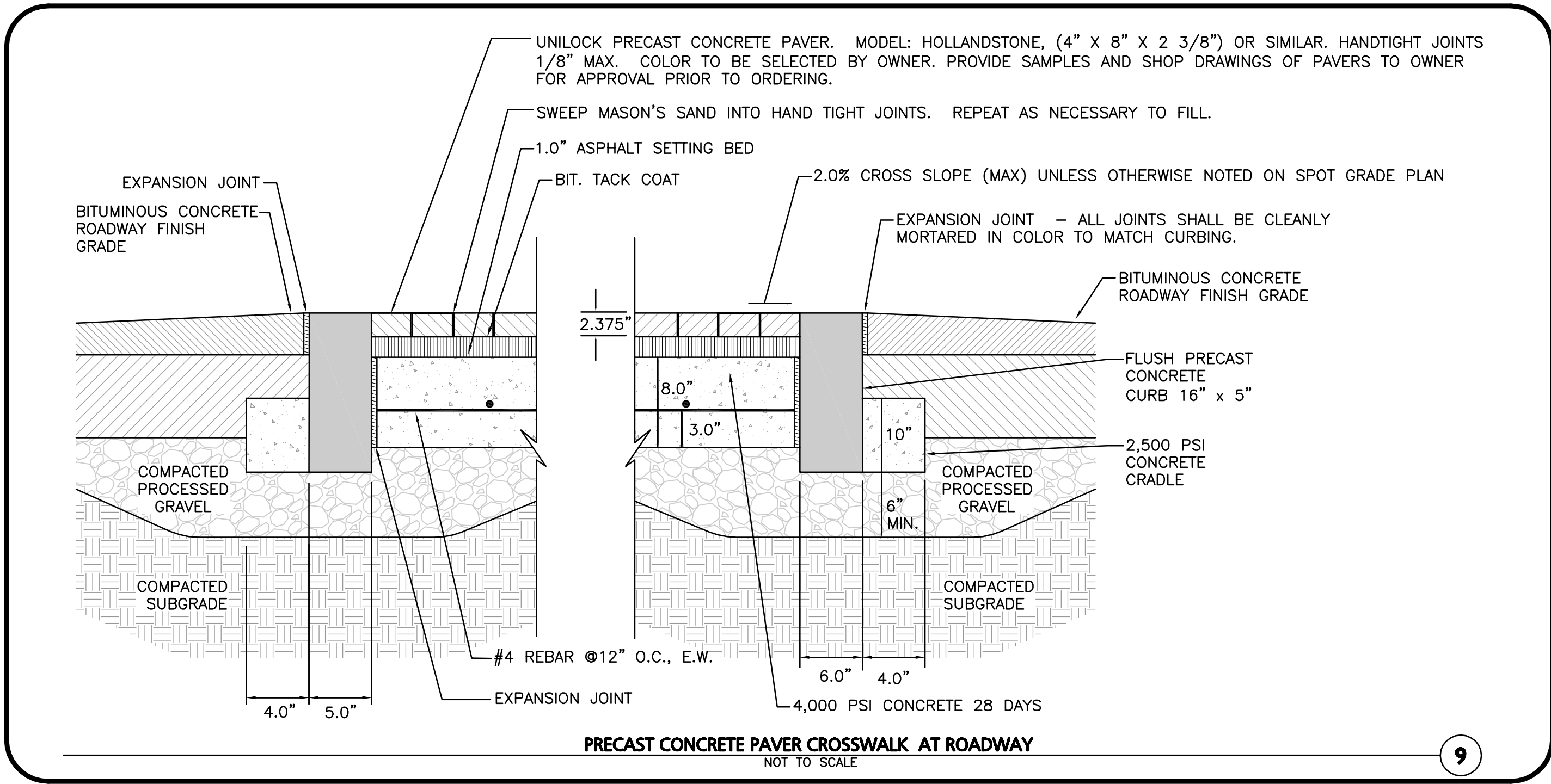
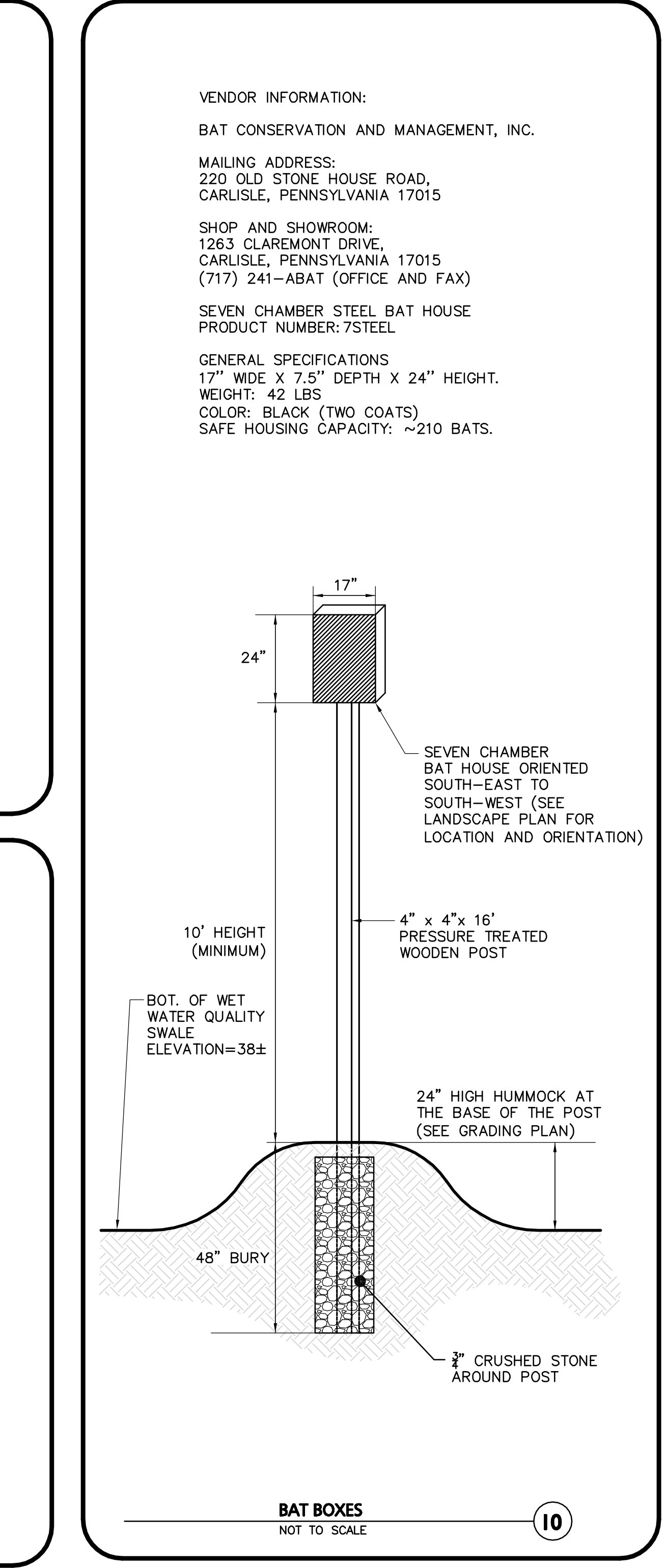
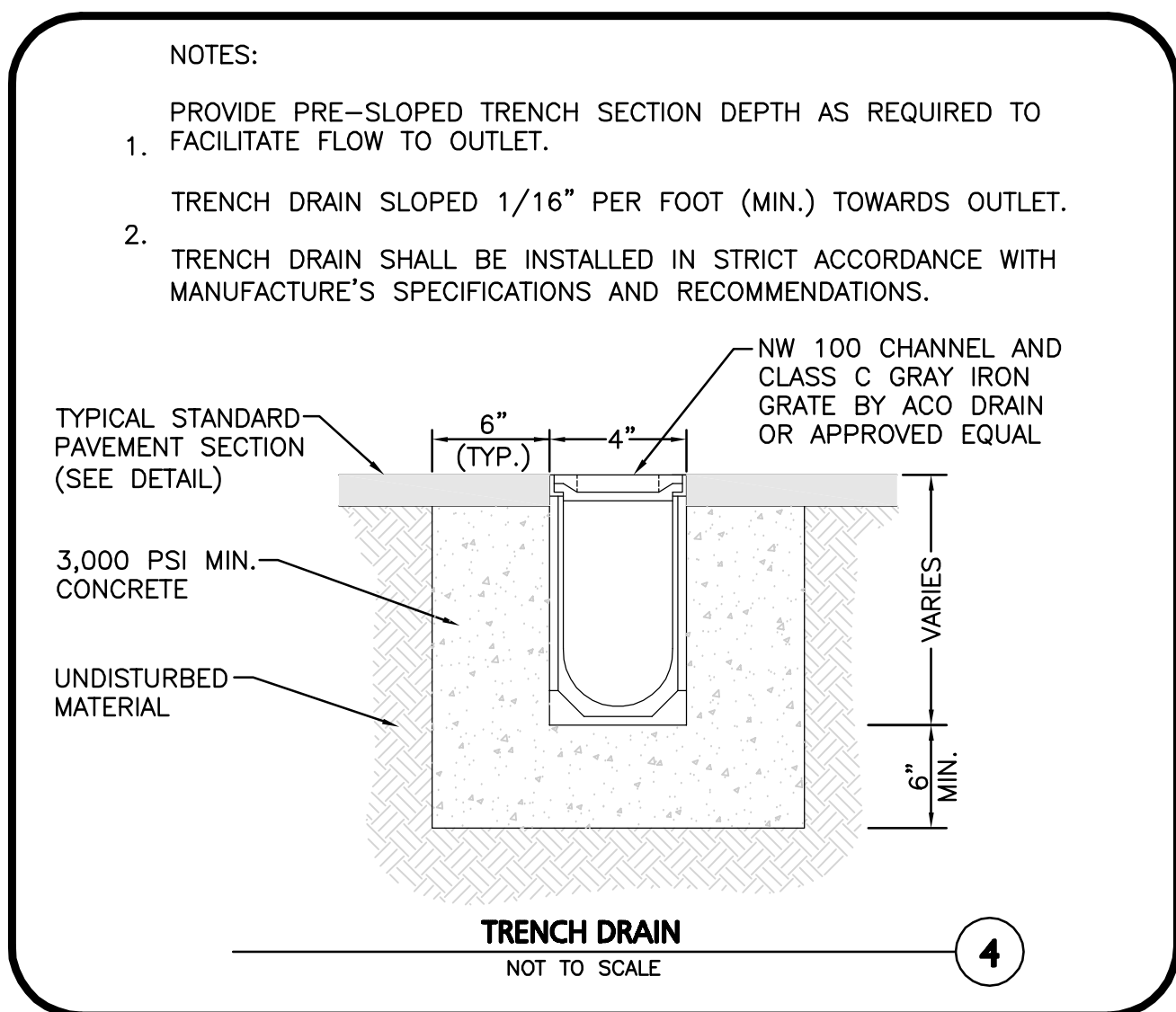
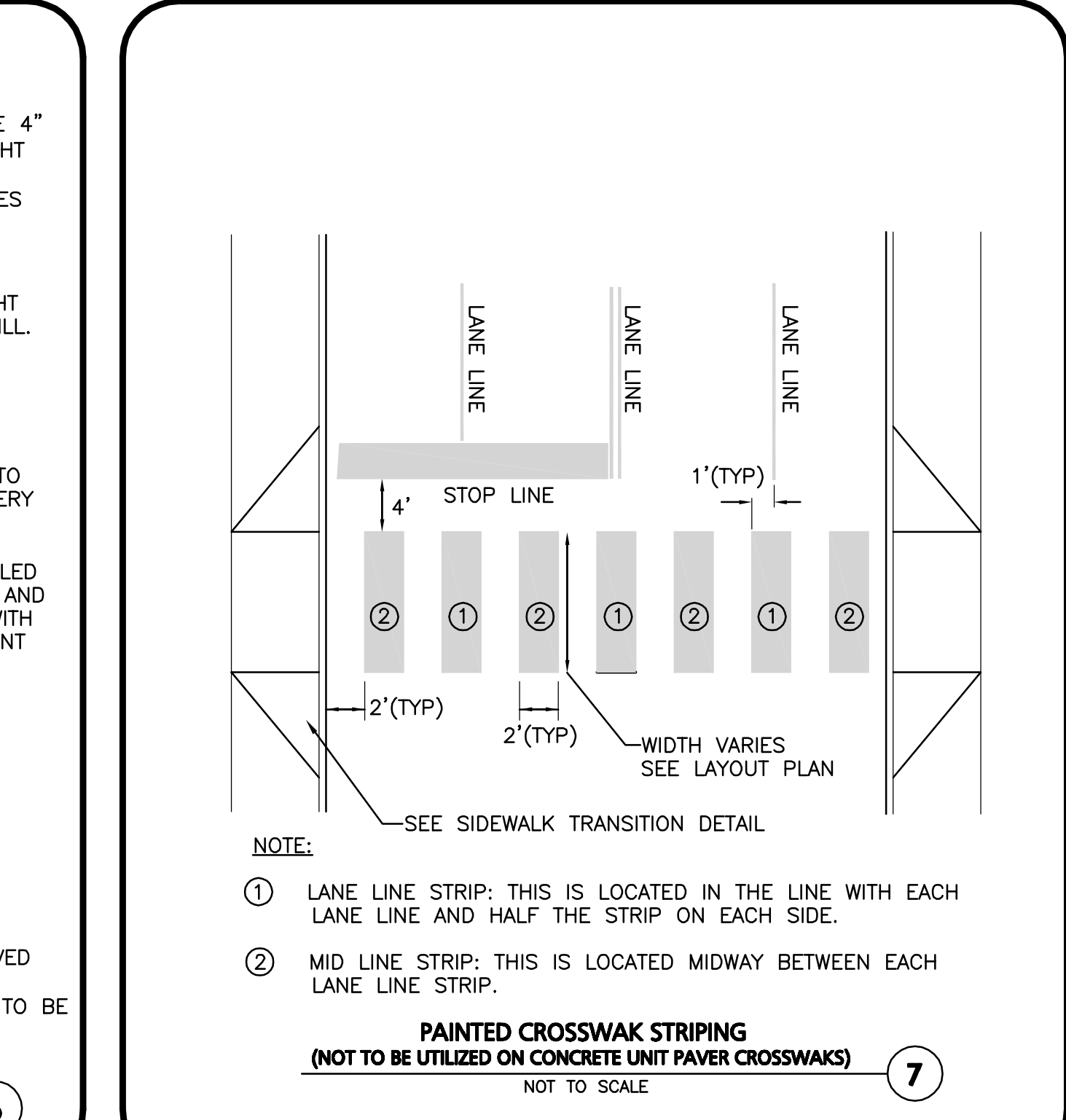
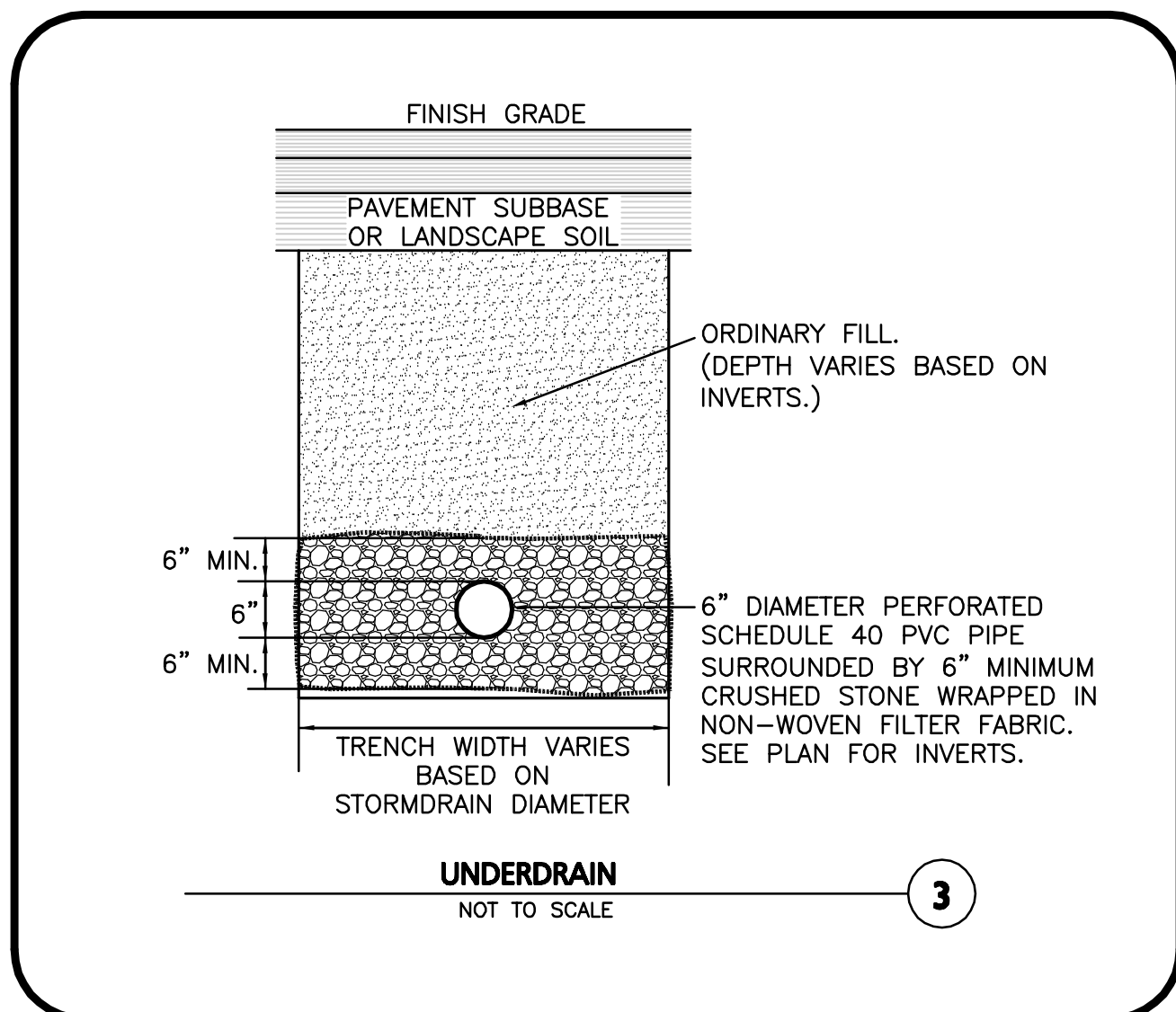
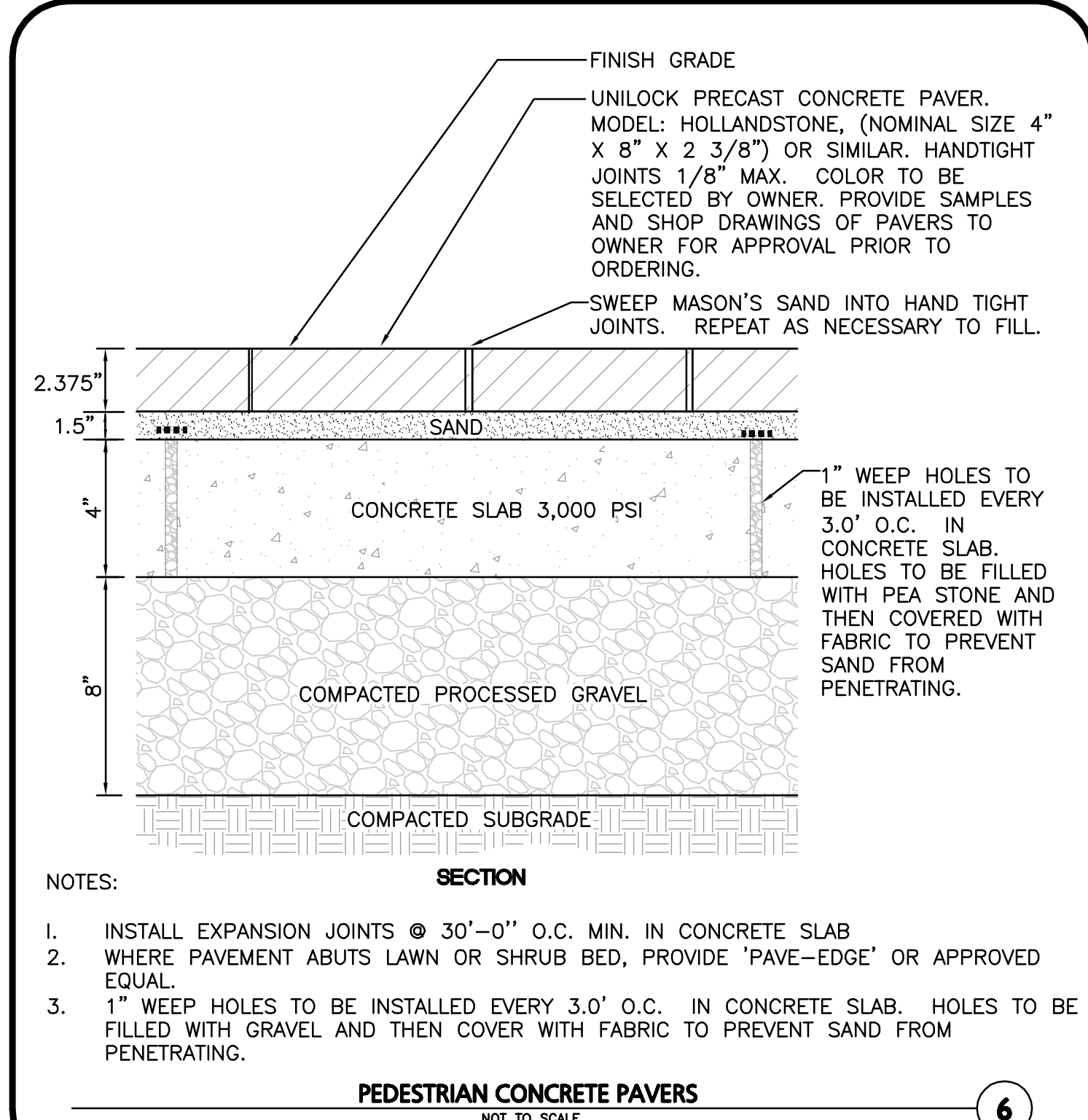
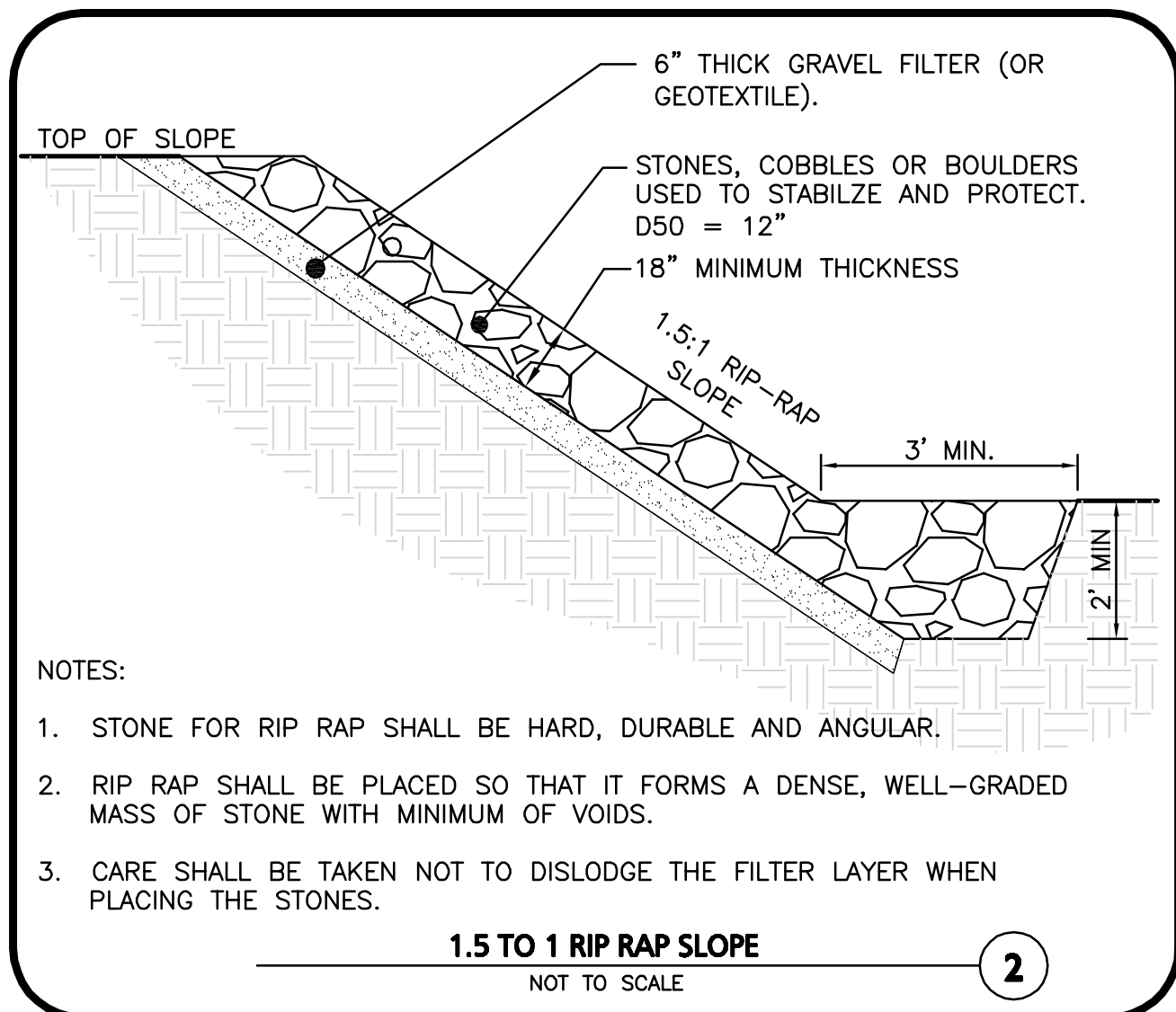
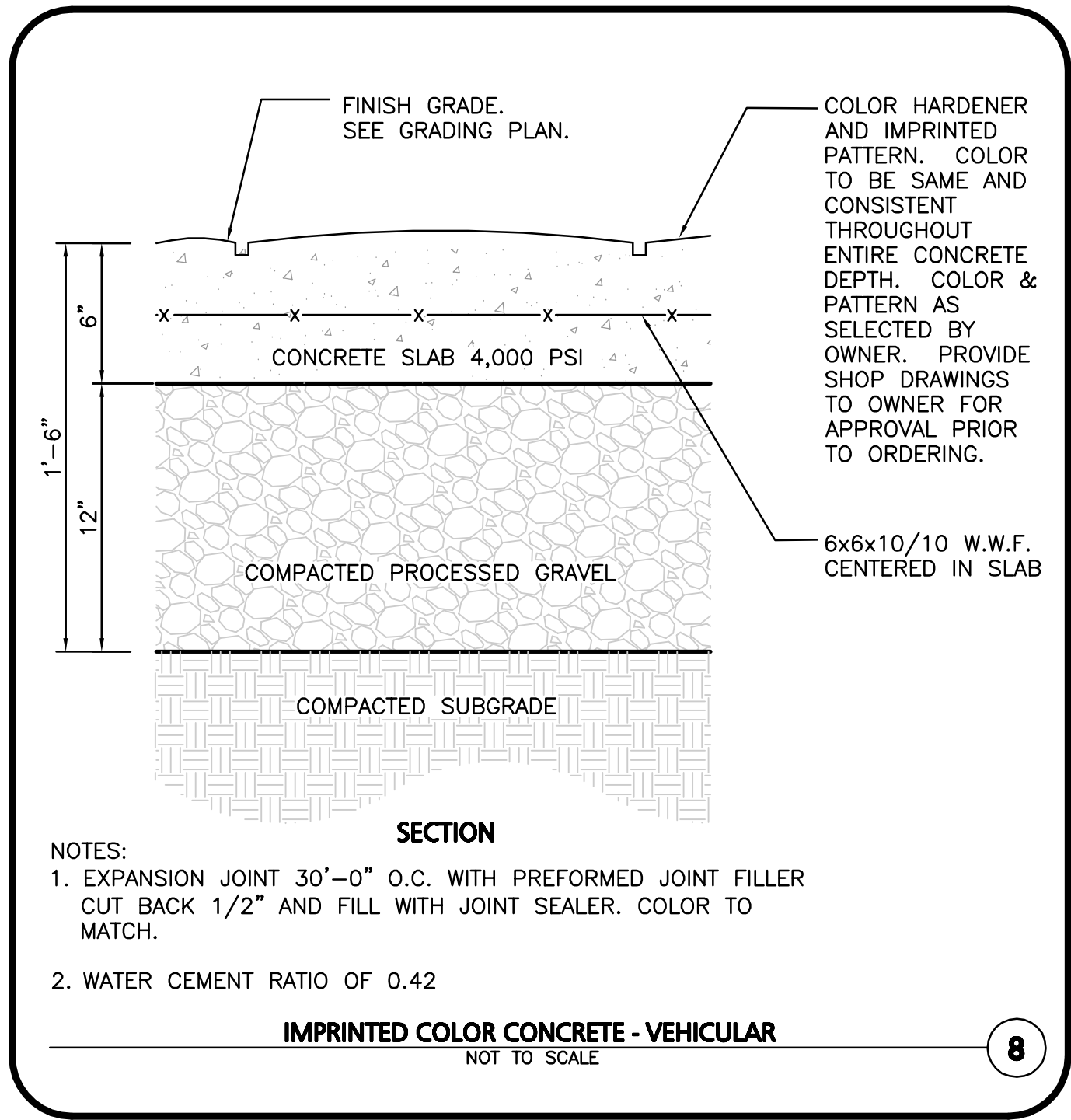
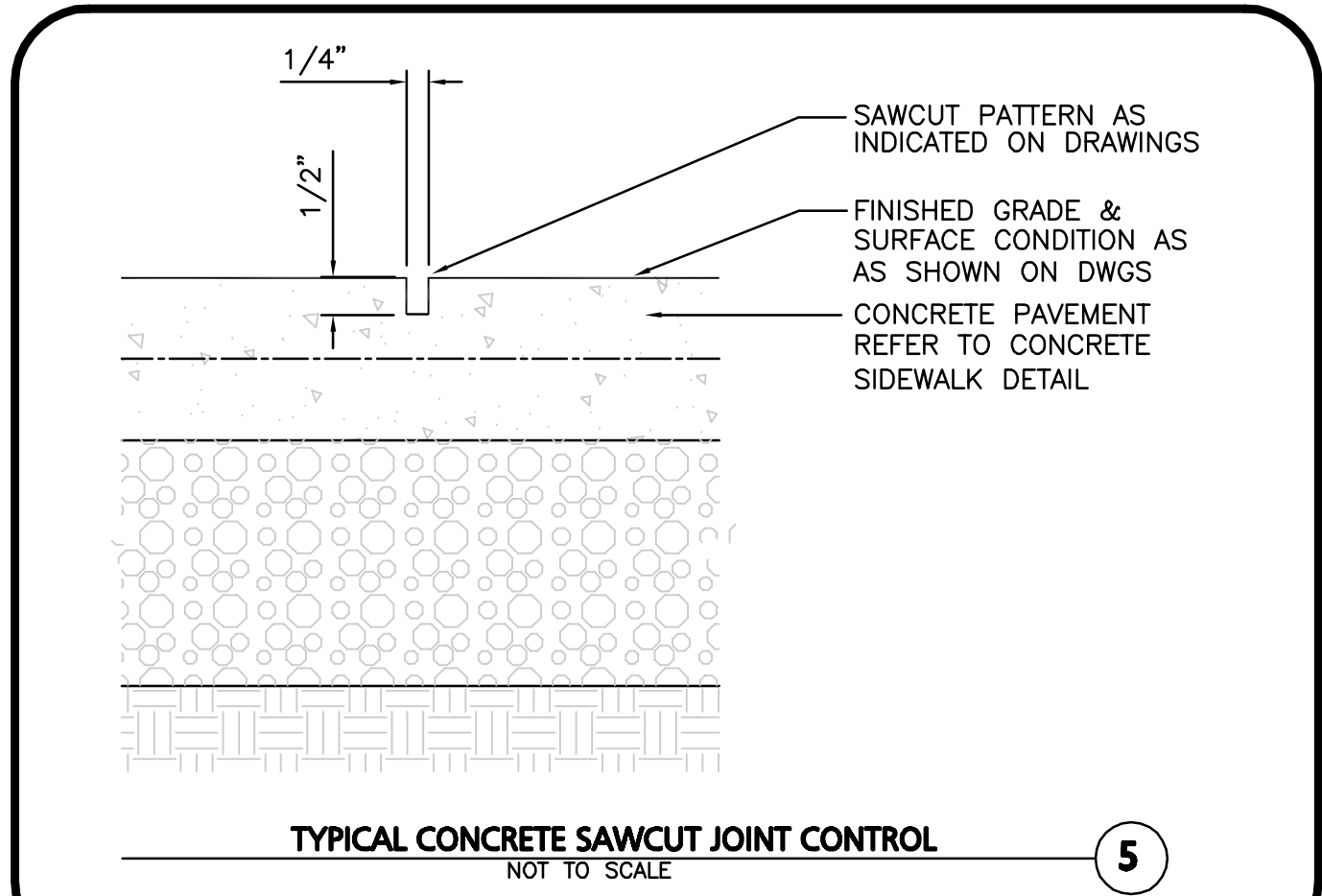
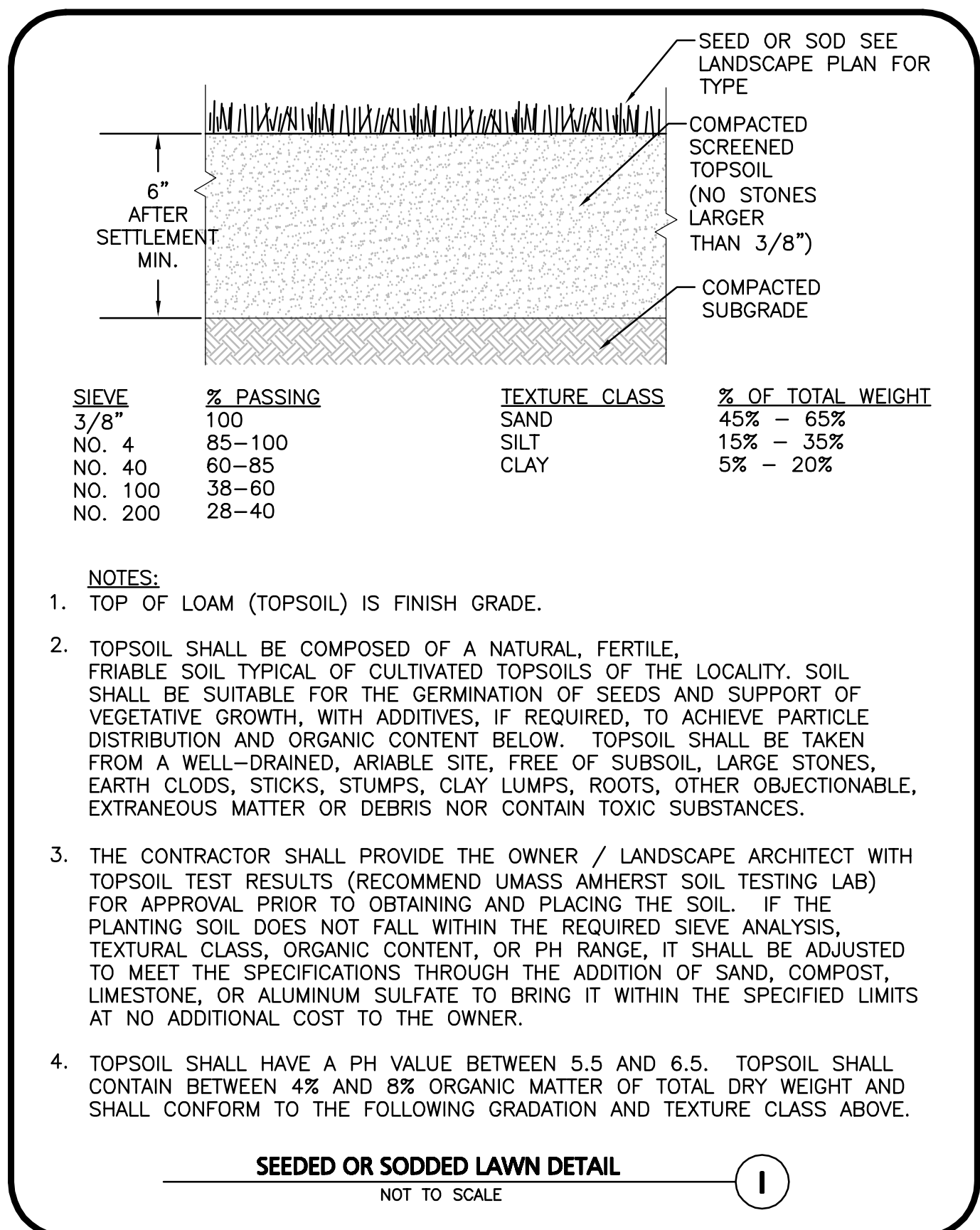
One Concord Farms
10 Virginia Road, Suite 2
Concord, MA



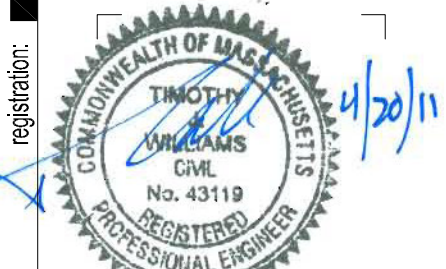
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SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



Details

Mill Street
Residential &
Retail
Development

30-50 Mill Street
Arlington, MA

WP East
Development
Enterprises, LLC

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA



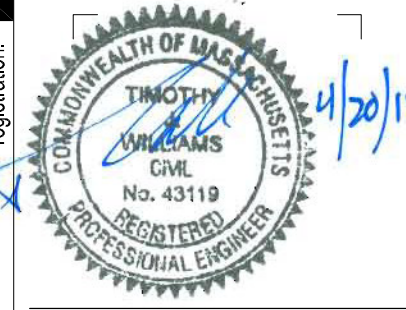
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drawing scale: AS NOTED
drawing date: 03.15.10
drawing revision:
project number: 1670-01
rev. description date

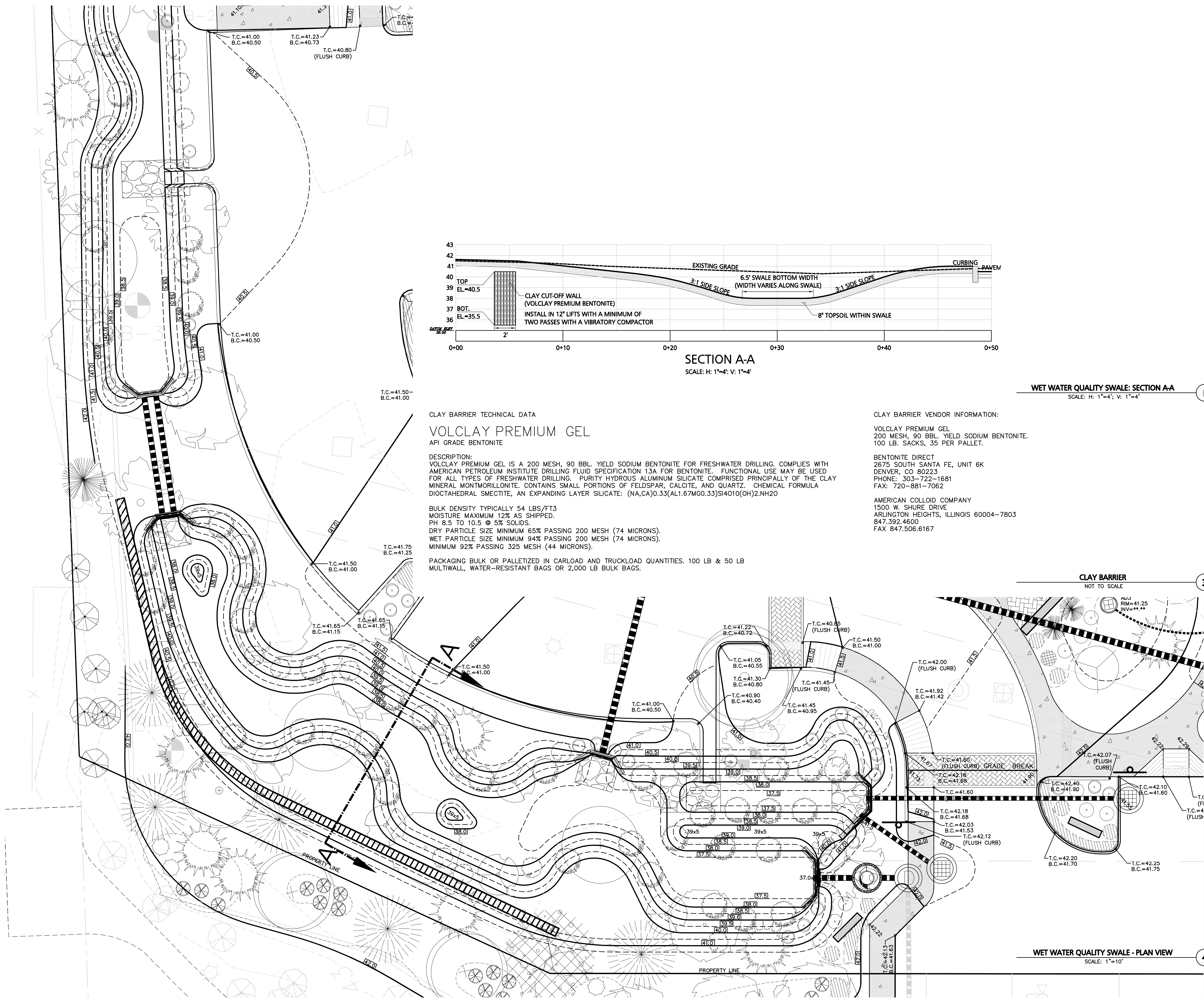
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| 9 | 50% ARB SUBMISSION | 03-04-11 |
| 8 | SECTION 8.12A(1) SPECIAL PERMIT | 02-17-11 |
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PROFESSIONAL ENGINEER FOR
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Details

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APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

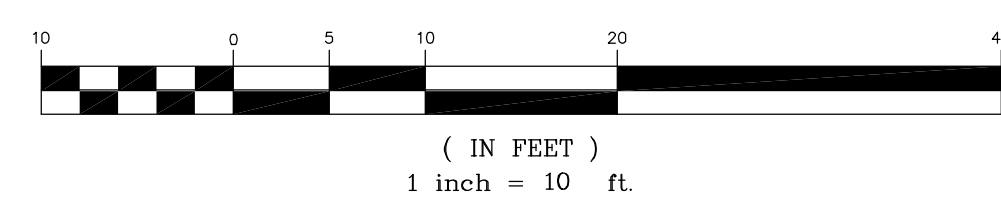
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 - MINIMUM LOT FRONTAGE
 - MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(1) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

GRAPHIC SCALE



N:\PROJECTS\1670-01\CIVIL\DRAWINGS\CURRENT\C-1670-01 - DETAILS.DWG

Mill Street
Residential &
Retail
Development30-50 Mill Street
Arlington, MAWP East
Development
Enterprises, LLCOne Concord Farms
490 Virginia Road, Suite 2
Concord, MAALLEN & MAJOR
ASSOCIATES, INC.ALLEN & MAJOR ASSOCIATES, INC. is a professional engineering and architectural firm. We are a full-service firm with a focus on providing high-quality design and construction services to our clients. We are a member of the American Society of Professional Engineers (ASPE) and the American Institute of Architects (AIA).
100 NORTH ST., SUITE 200
CONCORD, MA 01742
TEL: 978.351.1100
WWW.ALLENMAJOR.COM

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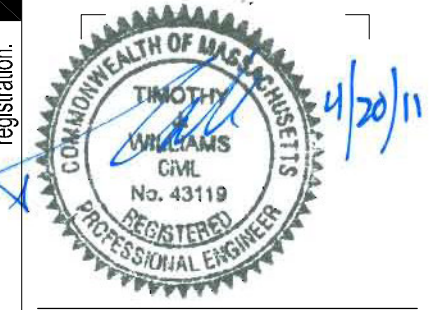
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drawing checked by: TJW
drawing scale: AS NOTED
drawing date: 03.15.10
drawing revision:
project number: 1670-01
rev. description date

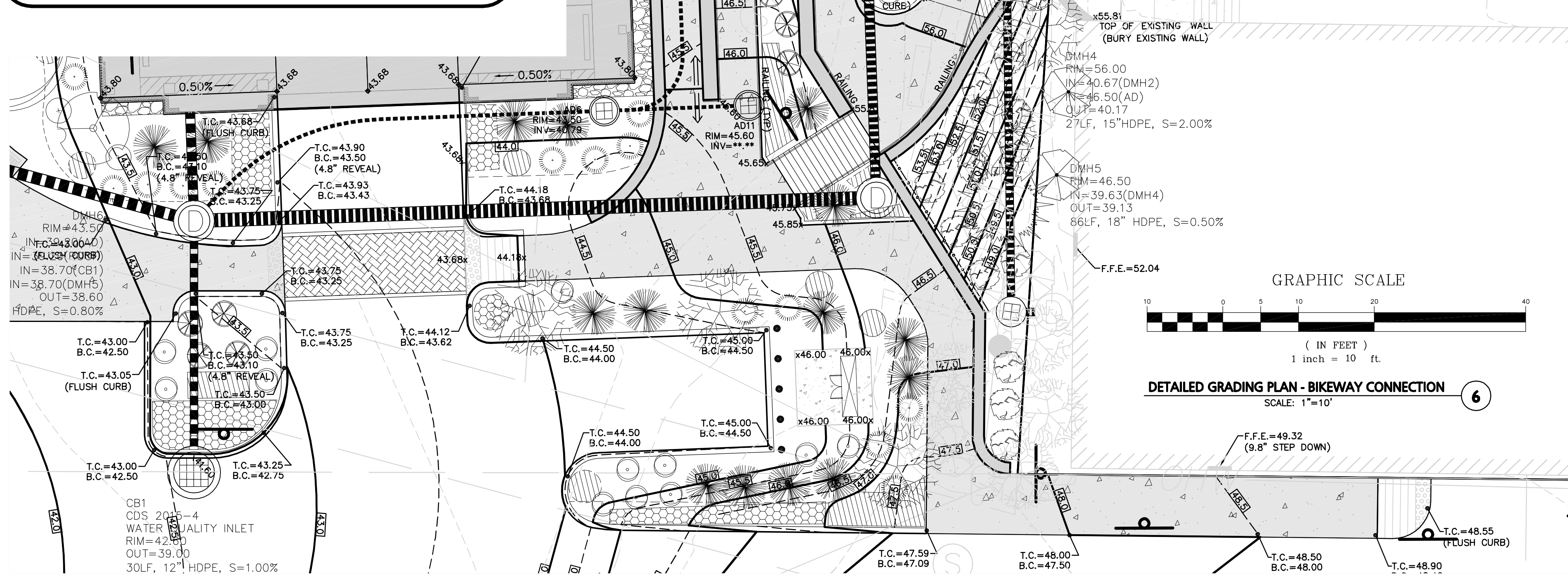
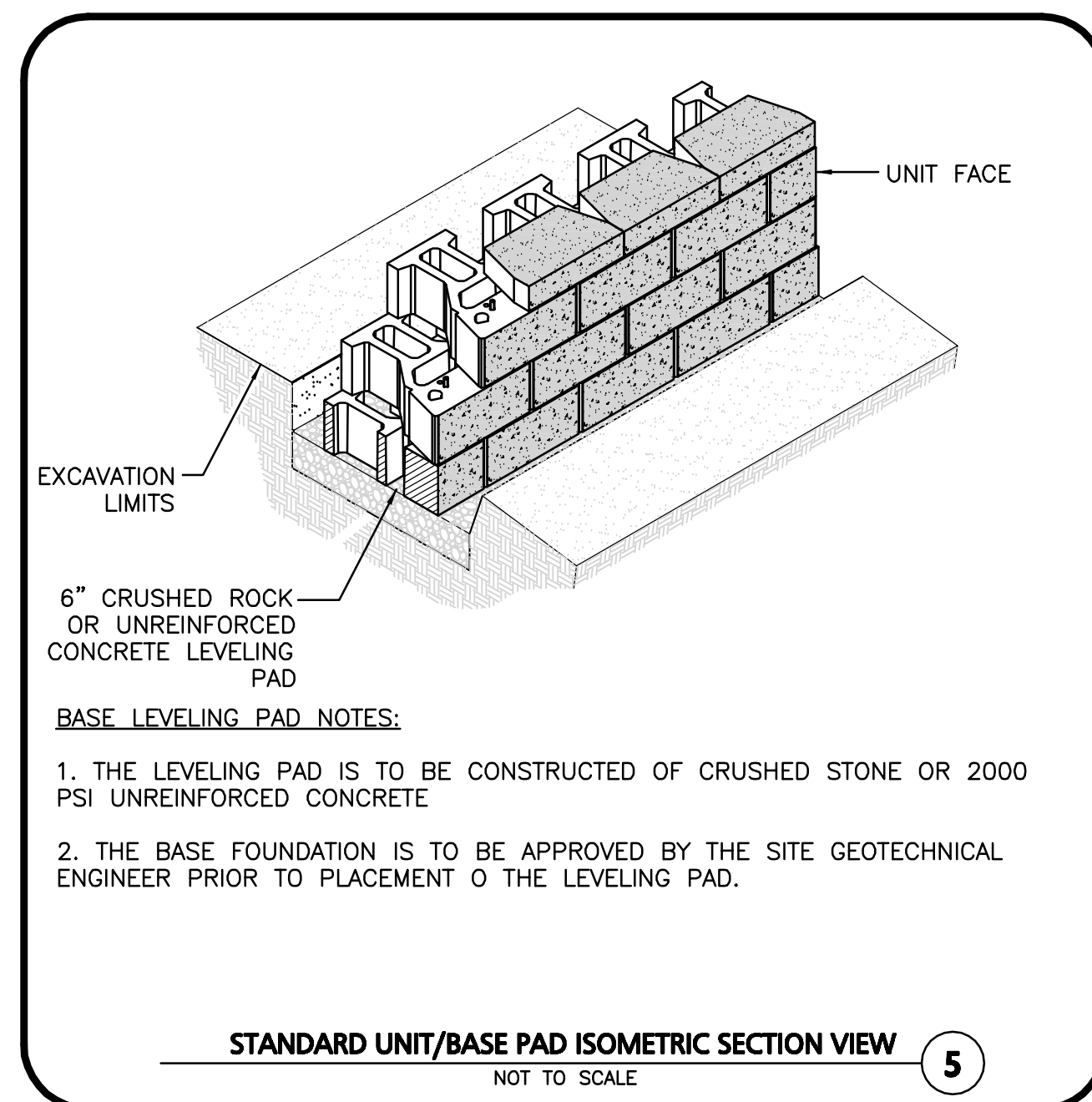
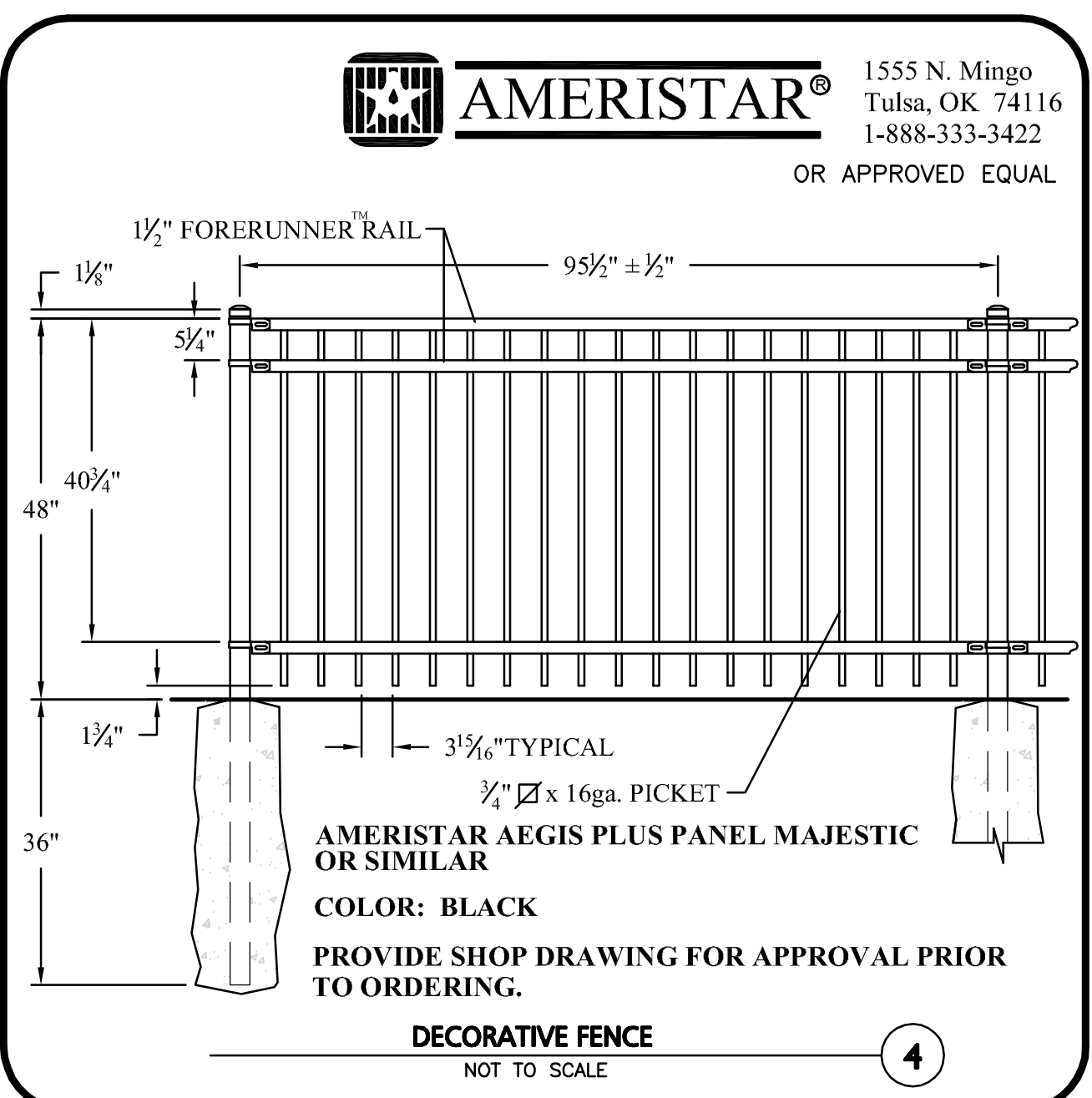
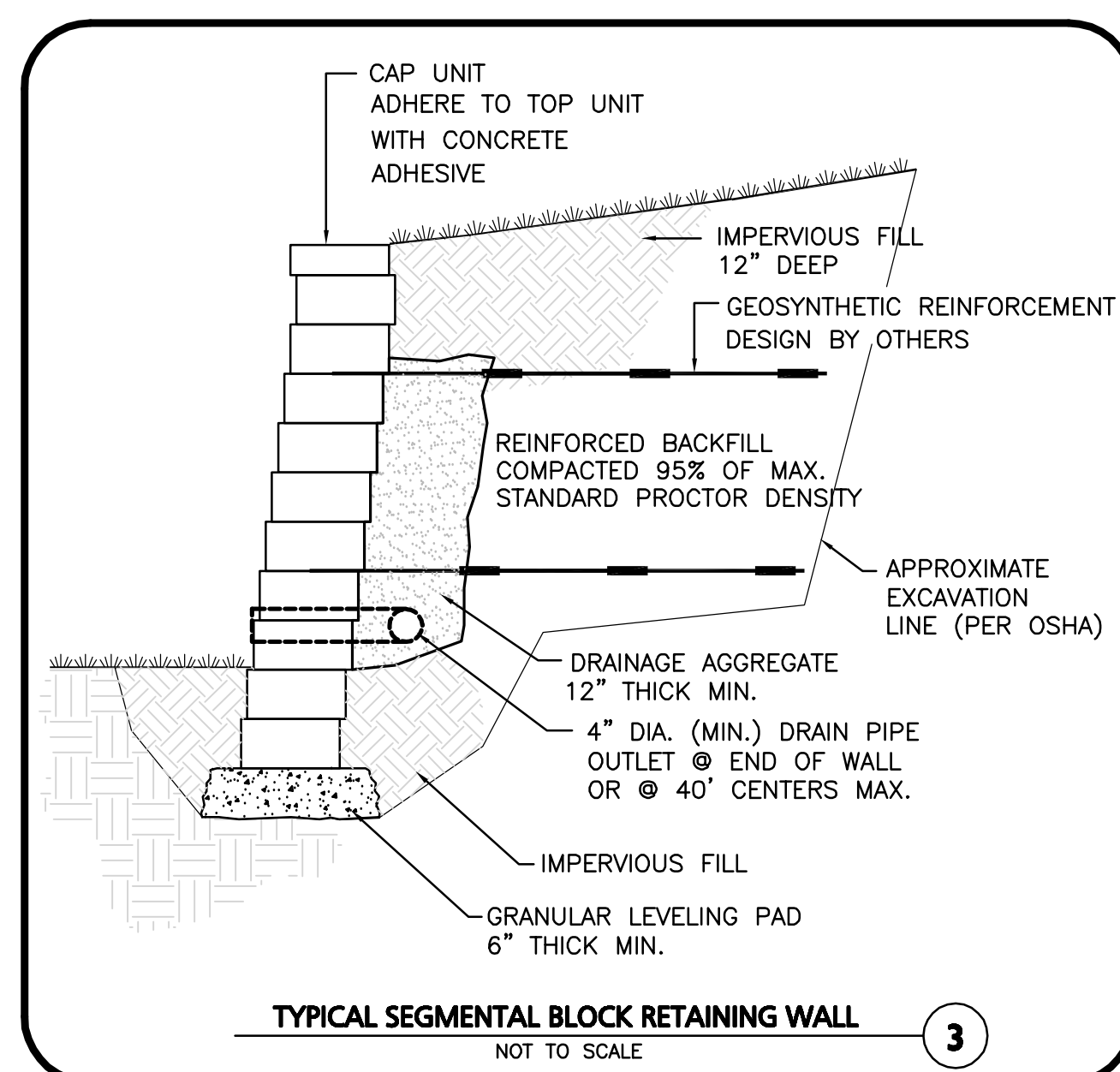
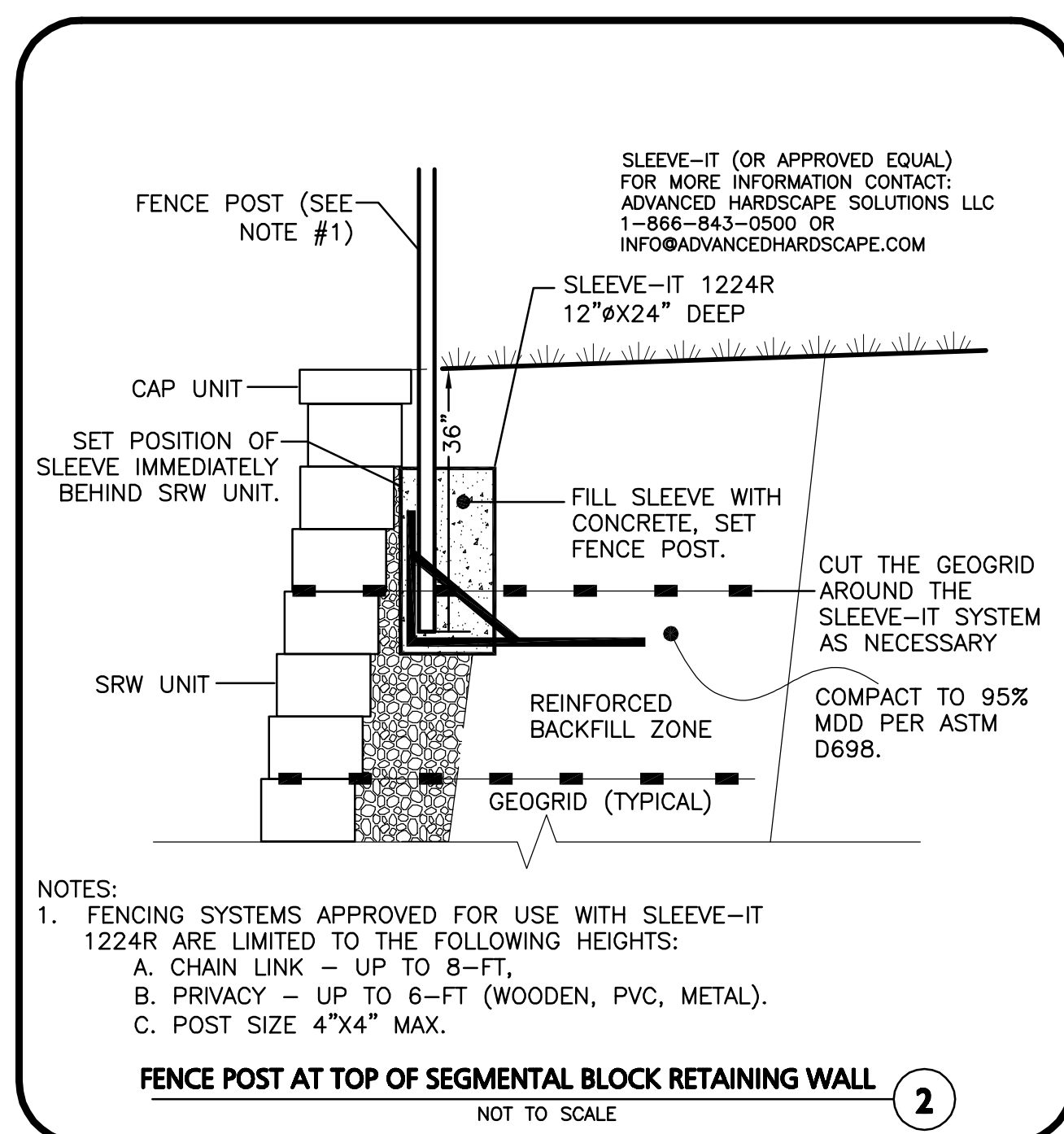
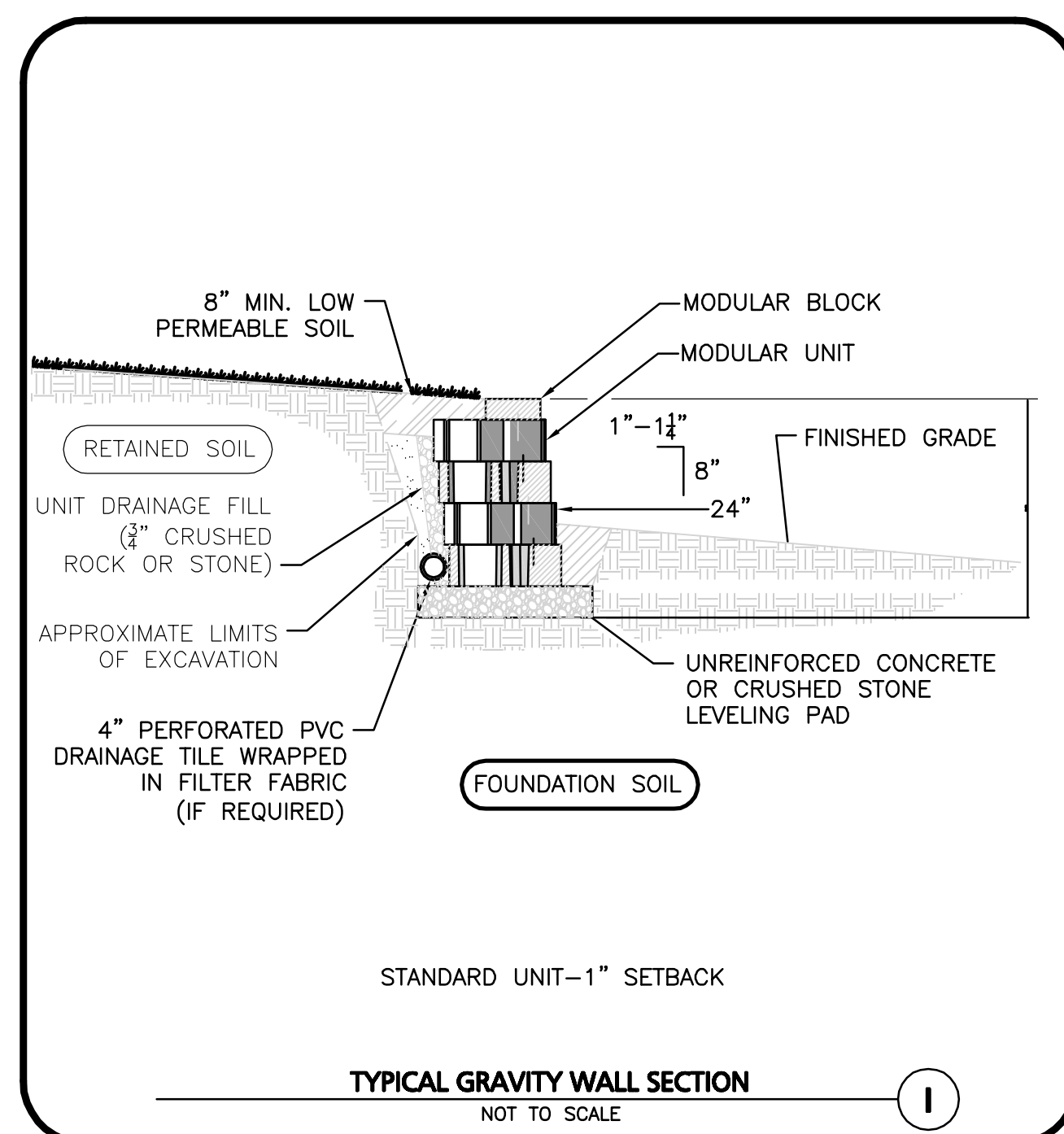
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| 1 | PER TOWN COMMENTS | 06-16-10 |

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

Details

D-8

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON
ZONING BYLAW HAS BEEN GRANTED:

- SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS
 - MINIMUM LOT FRONTAGE
 - MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

Mill Street
Residential &
Retail
Development30-50 Mill Street
Arlington, MAWP East
Development
Enterprises, LLCOne Concord Farms
490 Virginia Road, Suite 2
Concord, MAALLEN & MAJOR
ASSOCIATES, INC.
A PROFESSIONAL ENGINEERING FIRM
REGISTERED PROFESSIONAL ENGINEERS
MASSACHUSETTS LICENSE NO. 0000000000
NEW HAMPSHIRE LICENSE NO. 0000000000
VERMONT LICENSE NO. 0000000000
MASSACHUSETTS LICENSE NO. 0000000000
NEW HAMPSHIRE LICENSE NO. 0000000000
VERMONT LICENSE NO. 0000000000

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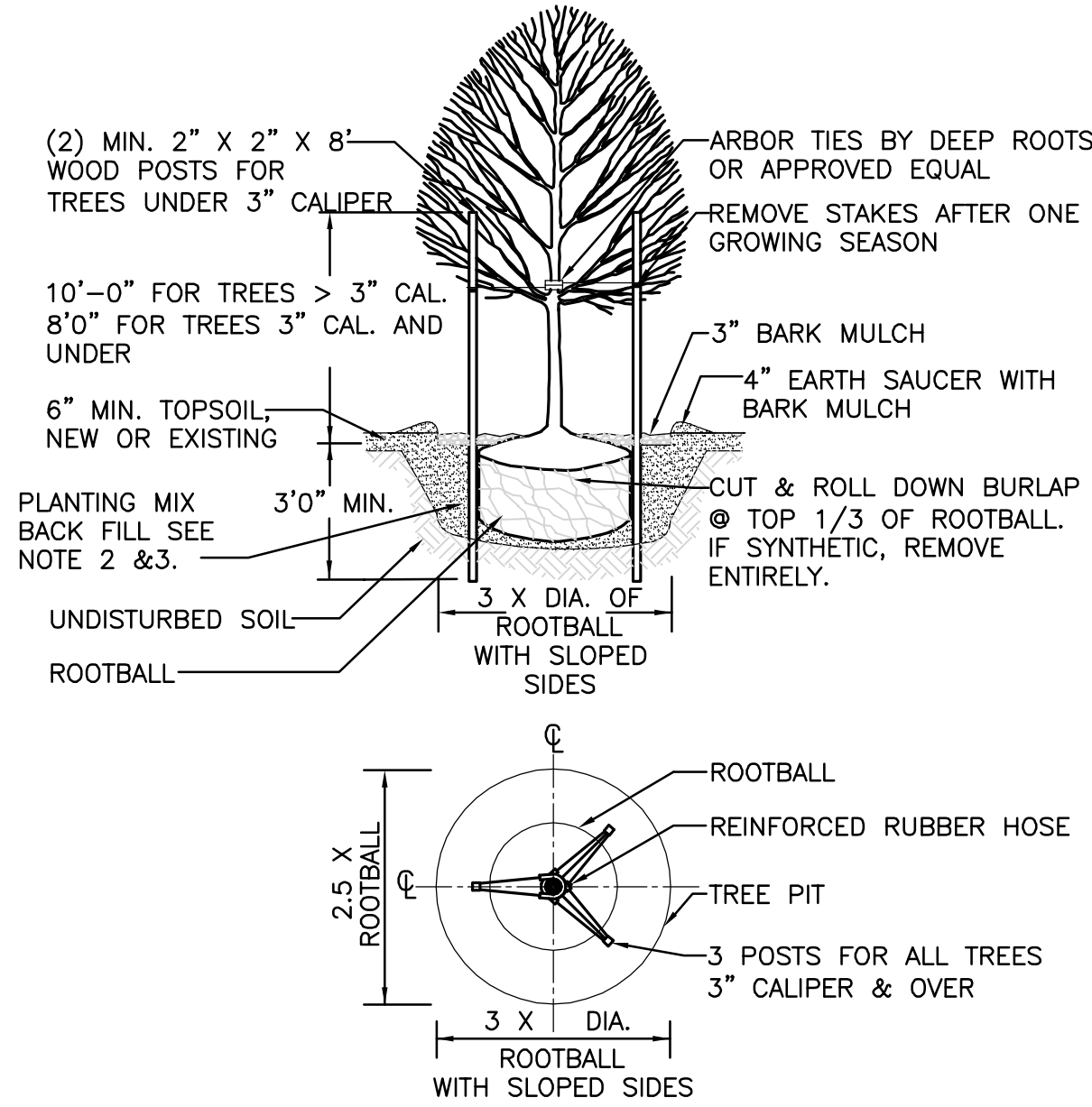
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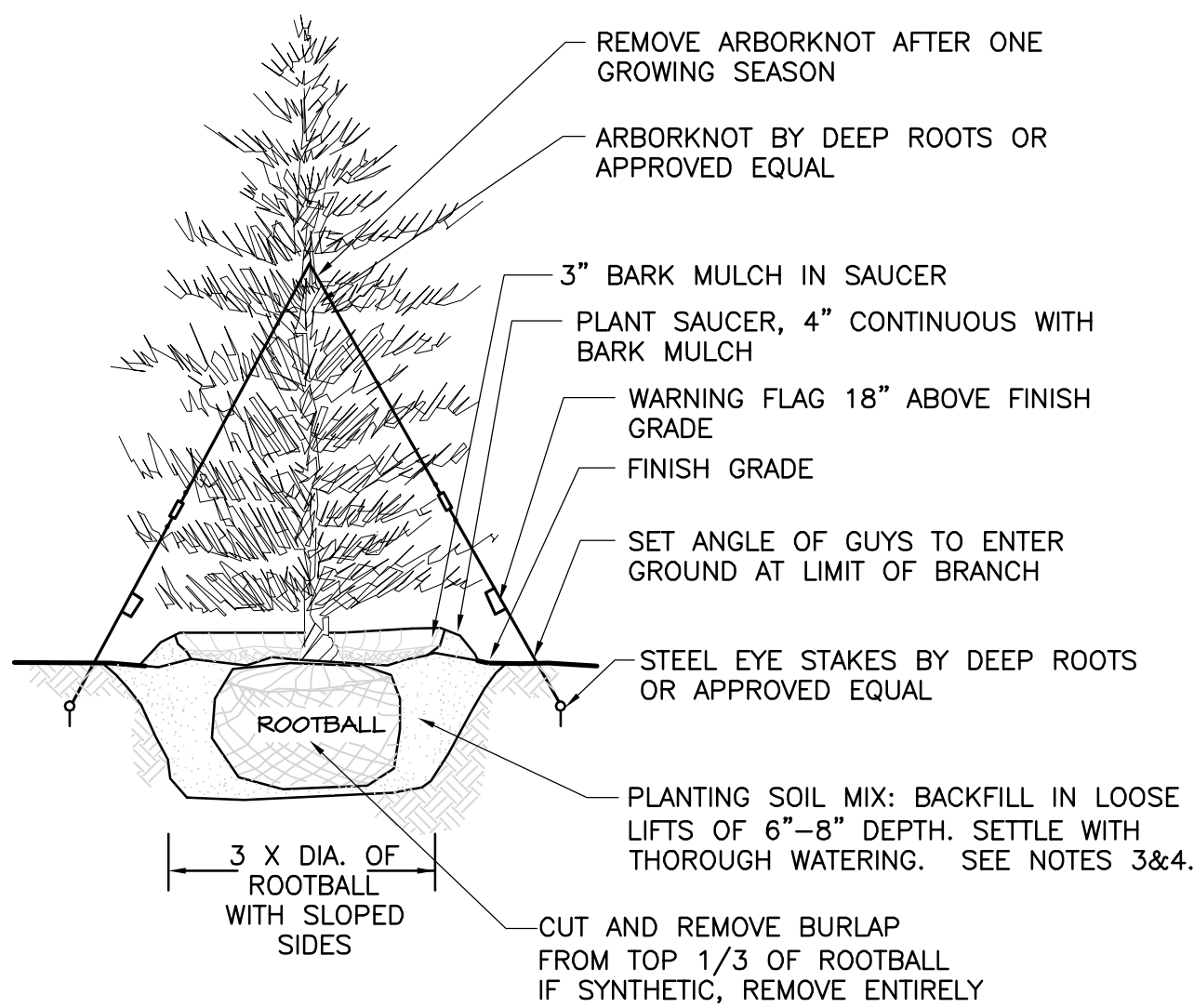
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rev. description date

DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

NOTES:

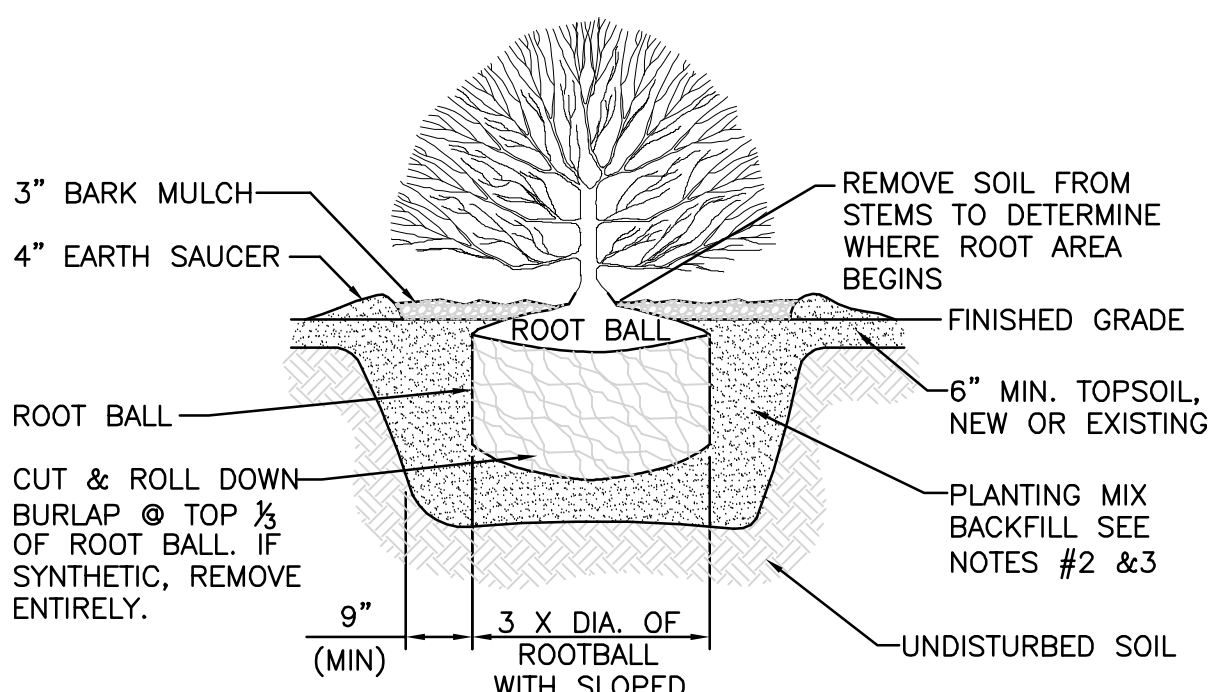
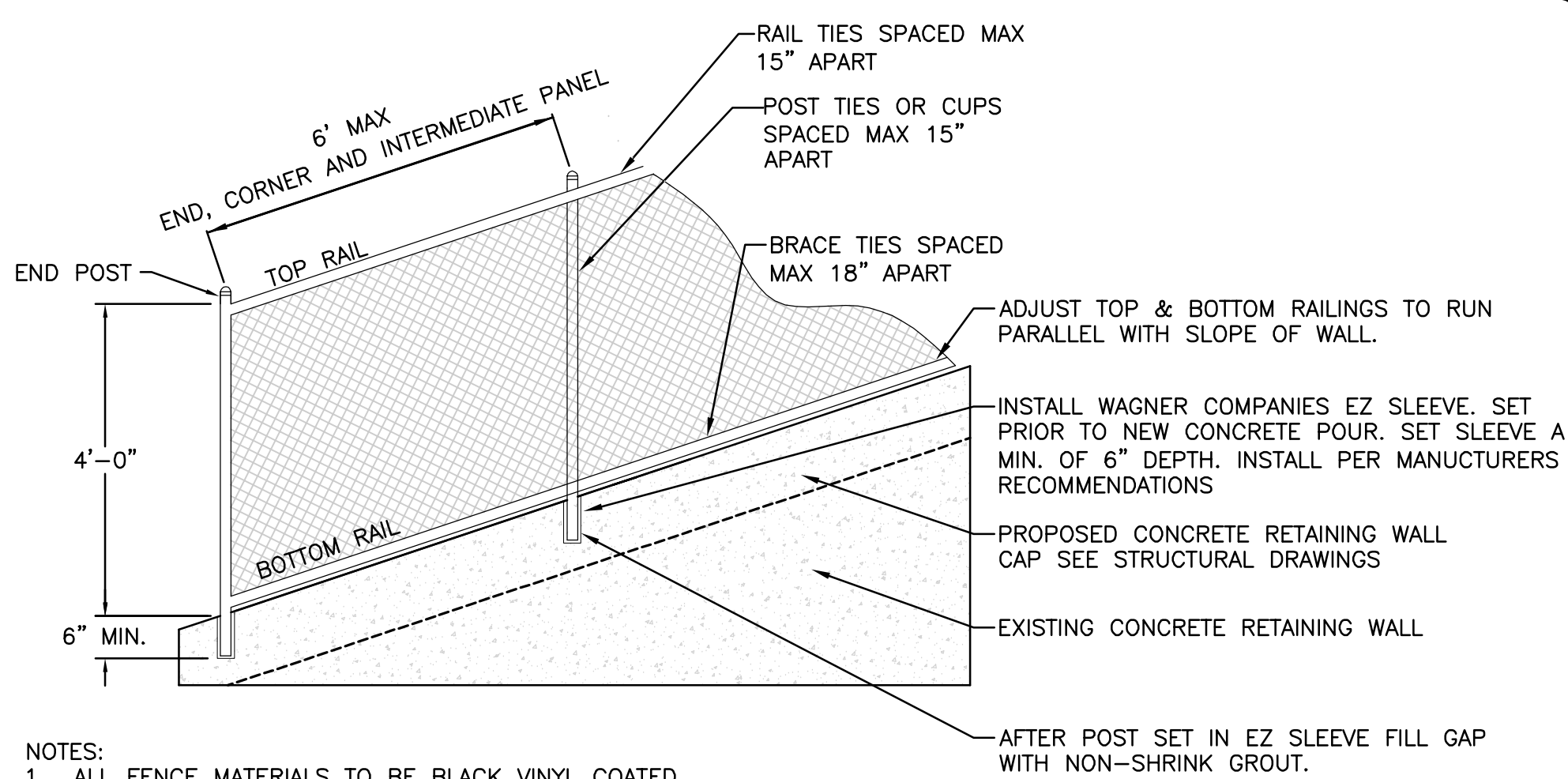
1. ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

EVERGREEN TREE DETAIL
NOT TO SCALE

NOTES:

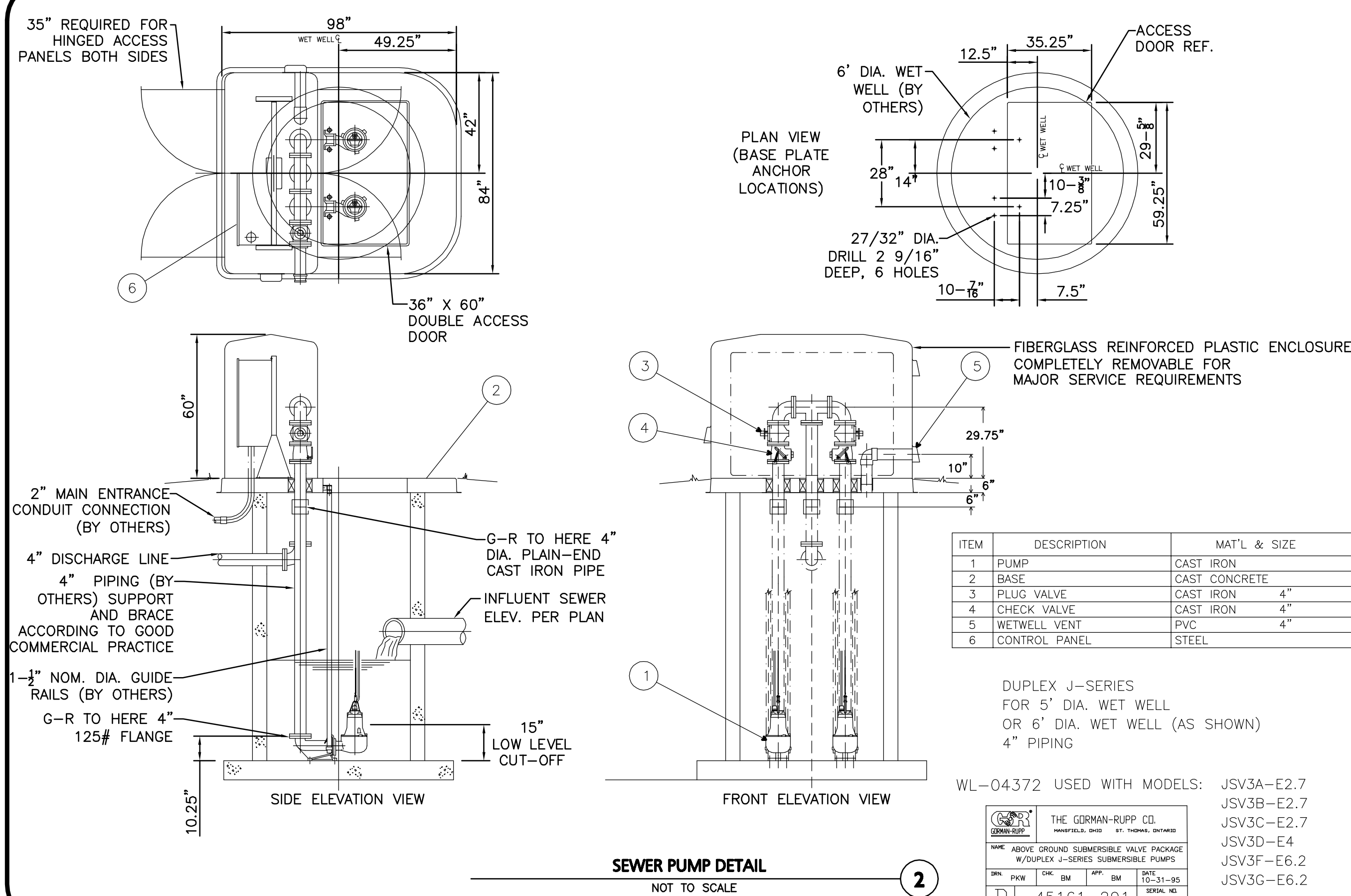
1. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
2. INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
3. ATTACH GUYS AT 2/3 HEIGHT OF TREE.
4. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
5. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

- NOTES:
1. ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. SET SHRUB 1"-2" ABOVE FINISH GRADE.
 2. BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
 3. ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.
 4. SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.

SHRUB PLANTING DETAIL
NOT TO SCALEBLACK VINYL COATED CHAIN LINK FENCE ON CONCRETE WALL
NOT TO SCALE

NOTES:

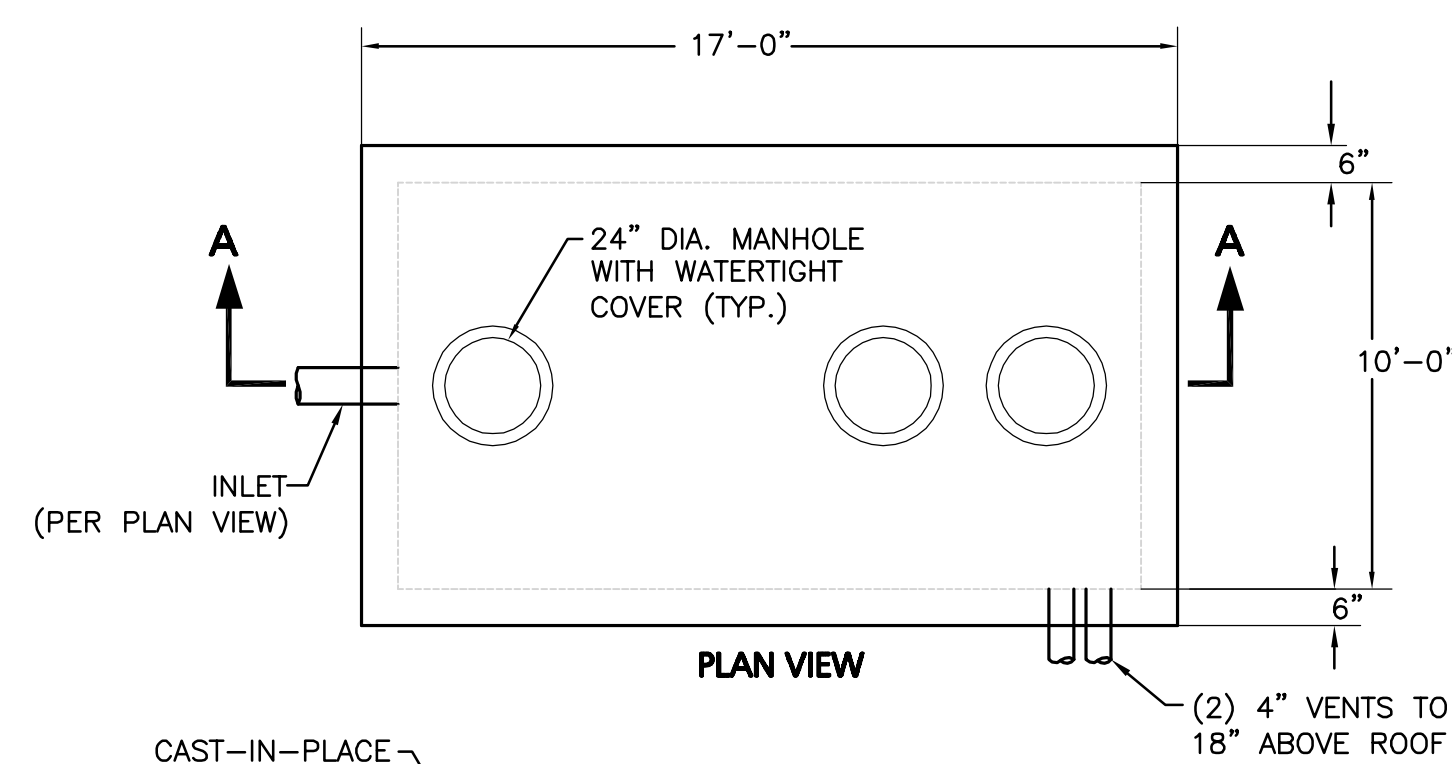
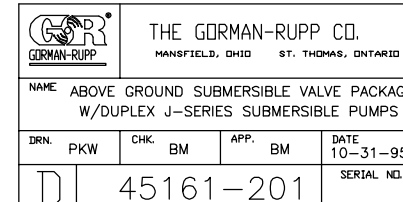
1. ALL FENCE MATERIALS TO BE BLACK VINYL COATED.
2. FENCING CONTRACTOR TO COORDINATE WITH CONCRETE WALL CONTRACTOR FOR SLEEVE INSTALLATION PRIOR TO POURING CONCRETE. COORDINATE SPACING OF SLEEVE TO MATCH POST SPACING AND DIAMETER OF SLEEVE TO MATCH FENCE POST.
3. PROVIDE NECESSARY FENCING HARDWARE TO ADJUST RAILINGS AND FABRIC TO MATCH SLOPE OF WALL.

SEWER PUMP DETAIL
NOT TO SCALE

| ITEM | DESCRIPTION | MAT'L & SIZE |
|------|---------------|---------------|
| 1 | PUMP | CAST IRON |
| 2 | BASE | CAST CONCRETE |
| 3 | PLUG VALVE | CAST IRON 4" |
| 4 | CHECK VALVE | CAST IRON 4" |
| 5 | WETWELL VENT | PVC 4" |
| 6 | CONTROL PANEL | STEEL |

DUPLIX J-SERIES
FOR 5" DIA. WET WELL
OR 6" DIA. WET WELL (AS SHOWN)
4" PIPING

WL-04372 USED WITH MODELS: JSV3A-E2.7
JSV3B-E2.7
JSV3C-E2.7
JSV3D-E4
JSV3F-E6.2
JSV3G-E6.2

6,000 GALLON HOLDING TANK DETAIL
NOT TO SCALE

NOTES:

1. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR REVIEW PRIOR TO PURCHASE OF THE GREASE TRAP.
2. TANK SHOWN IS A SHEA CONCRETE 6,000 GALLON COMMERCIAL LINE TANK (ITEM NO. TK-6000C).
3. TOTAL WEIGHT IS 59,460 LBS.
4. THE TANK SHALL BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE, WATERTIGHT AND ABLE TO WITHSTAND H2O LOADING.
5. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI @ 28 DAYS.
6. ALL REINFORCEMENT PER ASTM C1227-93.
7. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN.
8. BOUYANCY CALCULATION:
E.S.H.G.W. = WITHIN FLOODPLAIN, ASSUME FINISH GRADE
 $F_b = (1,360cf) * (62.4 \text{ lbs/cf}) = 84,864 \text{ lbs}$
 $BALLAST \text{ REQUIRED} = (84,864 - 59,460) * 1.15 = 29,215 \text{ lbs}$
BALLAST PROVIDED
 $(10'x17'x1.25') * (140 \text{ lbs/cf}) = 29,750 \text{ lbs}$

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

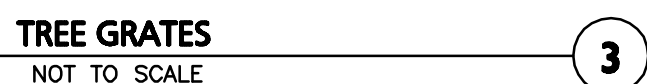
- SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS
- MINIMUM LOT FRONTAGE
 - MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)

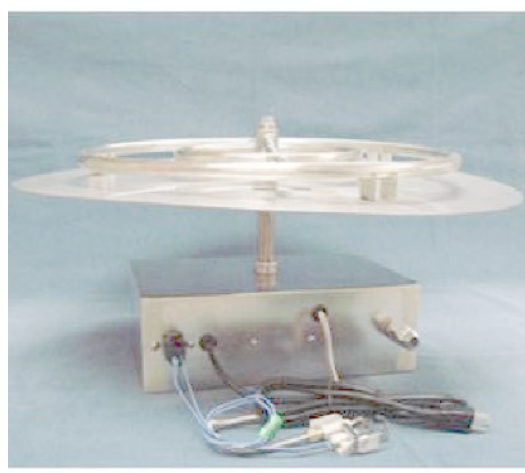
Details



SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)



FIRE PIT



ROUND PAN FIRE PIT KIT



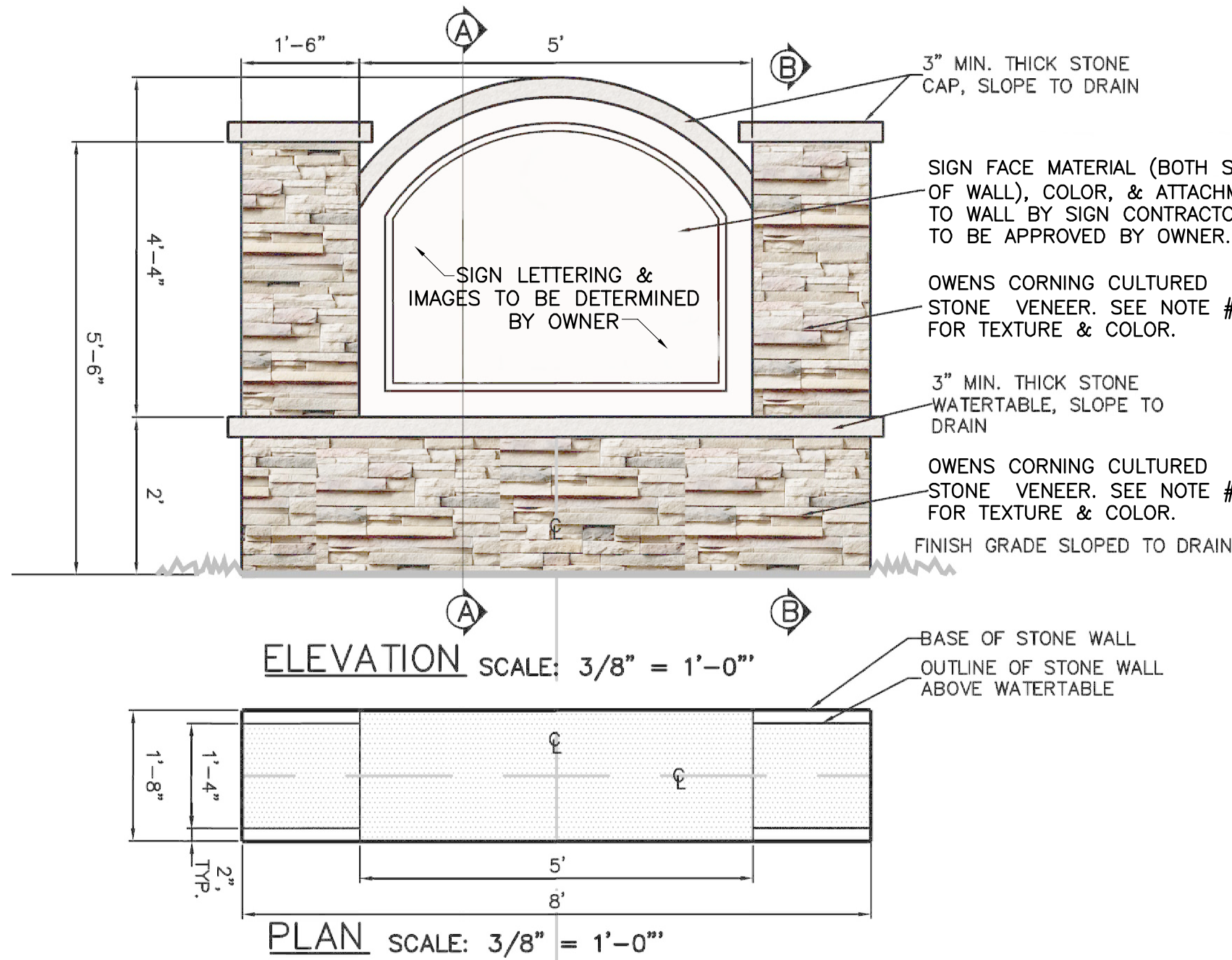
CERAMIC LOGS

NOTES:

1. PROVIDE TITAL GAS FIRE PIT, WITH 18" BURNER ASSEMBLY 150K BTU. PROVIDE ROUND PAN, EXTENDED BASE WITH DROP-IN REMOTE IGNITION FIRE PIT KIT, FIRE PIT CERAMIC LOGS, LAVA ROCK, AND TIMER. FINISHES AND COLORS TO BE SELECTED BY OWNER.
2. PROVIDE SHOP DRAWINGS FOR APPROVAL TO PLUMBER & OWNER FOR APPROVAL PRIOR TO ORDERING.
3. INSTALL PER MANUFACTURERS RECOMMENDATIONS & MA STATE FIRE & PLUMBING CODE. CONTRACTOR TO REVIEW COMPLIANCE WITH MA STATE FIRE CODE AND RECEIVE ANY NECESSARY PERMITS & APPROVALS FROM LOCAL AND STATE FIRE OFFICIALS.
4. COORDINATE WITH PLUMBER FOR GAS SERVICE & METER FROM BUILDING TO FIRE PIT.
5. COORDINATE INSTALLATION OF FIRE PIT WITH INSTALLATION OF FIRE PIT VENEER STONE WALL. STONE VENEER FIRE PIT WALL TO HAVE NECESSARY PROVISIONS & SAFETY FEATURES RECOMMENDED BY MANUFACTURER OF FIRE PIT AND STONE VENEER WALL MANUFACTURER FOR WALL USE AS FIRE PIT.

EXTERIOR GAS FIRE PIT 1

NOT TO SCALE



ELEVATION A SCALE: 3/8" = 1'-0"

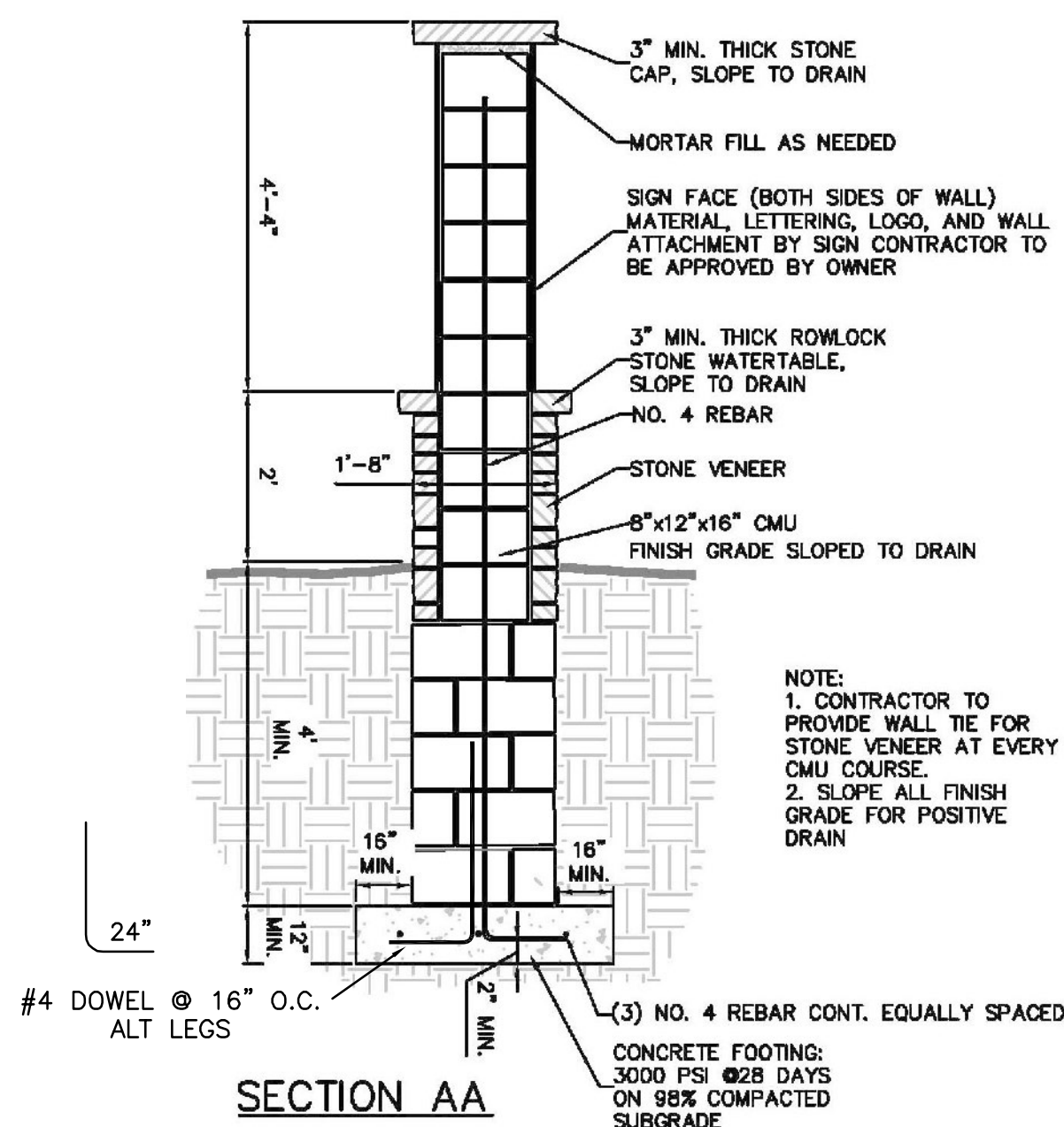
PLAN SCALE: 3/8" = 1'-0"

NOTES:

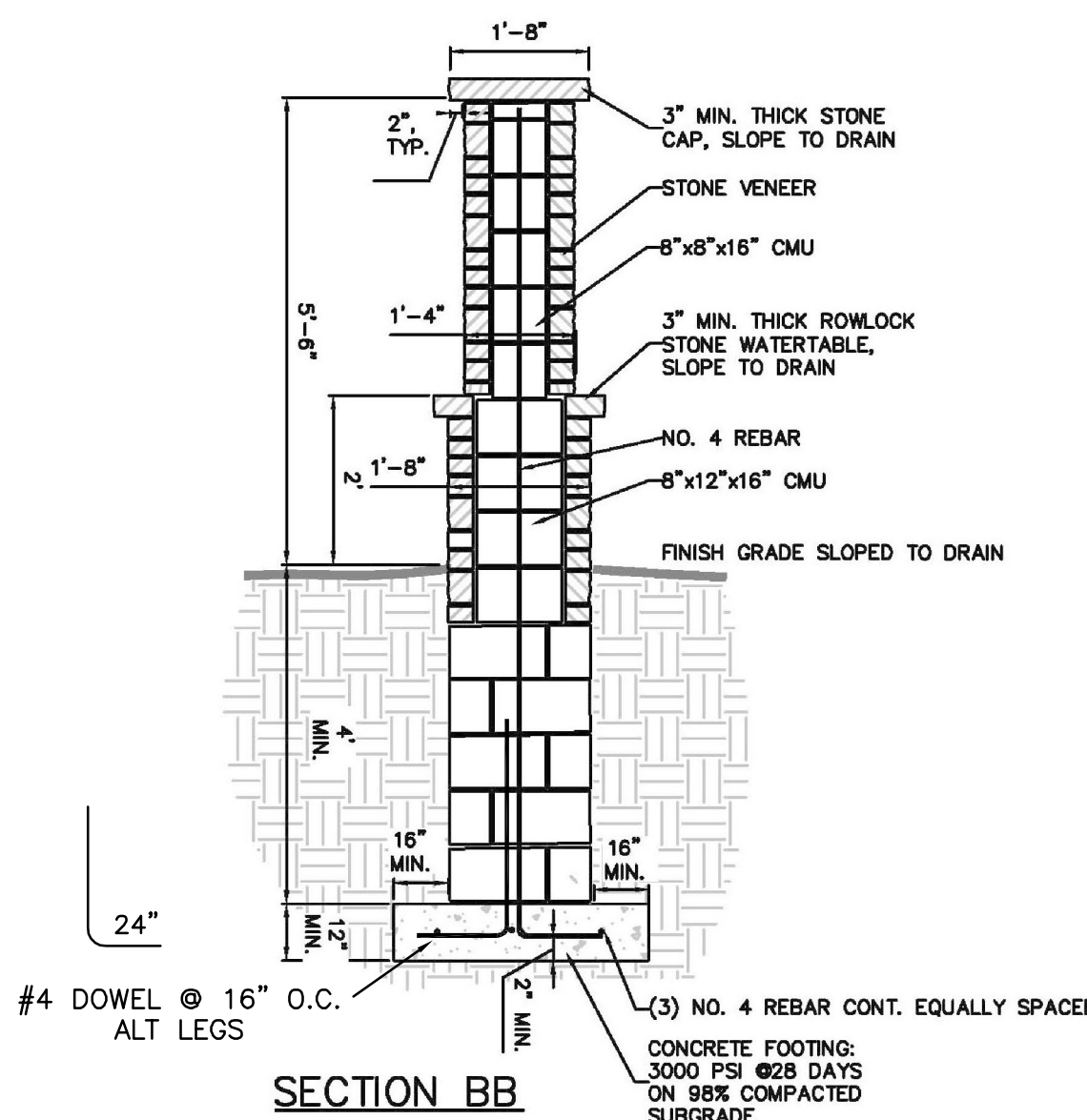
1. SIGN LETTERING CONTENT, STYLE, MATERIALS, AND CONNECTIONS TO BE DETERMINED BY OWNER. SIGN LETTERS BY OTHERS. COORDINATE FINAL ENTRY MONUMENT SIGN DESIGN WITH OWNER & SIGN MANUFACTURER FOR FINAL APPROVAL.
2. STONE VENEER TO BE OWENINGS CORNING CULTURED STONE, COLOR BUCKS COUNTY 80%, SOUTHERN LEDGESTONE 20%, DRESSED FIELDSTONE; MODEL CSV-2056 / CSV-2030. PROVIDE OWNER WITH SAMPLE AND SHOP DRAWING FOR APPROVAL.
3. WALLS INCLUDING FOOTING TO BE REVIEWED AS A SHOP DRAWING, AND APPROVED BY STRUCTURAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS AND AT CONTRACTOR COST. CONTRACTOR TO INCORPORATE ANY NECESSARY REVISIONS.

ENTRY MONUMENT SIGN 2

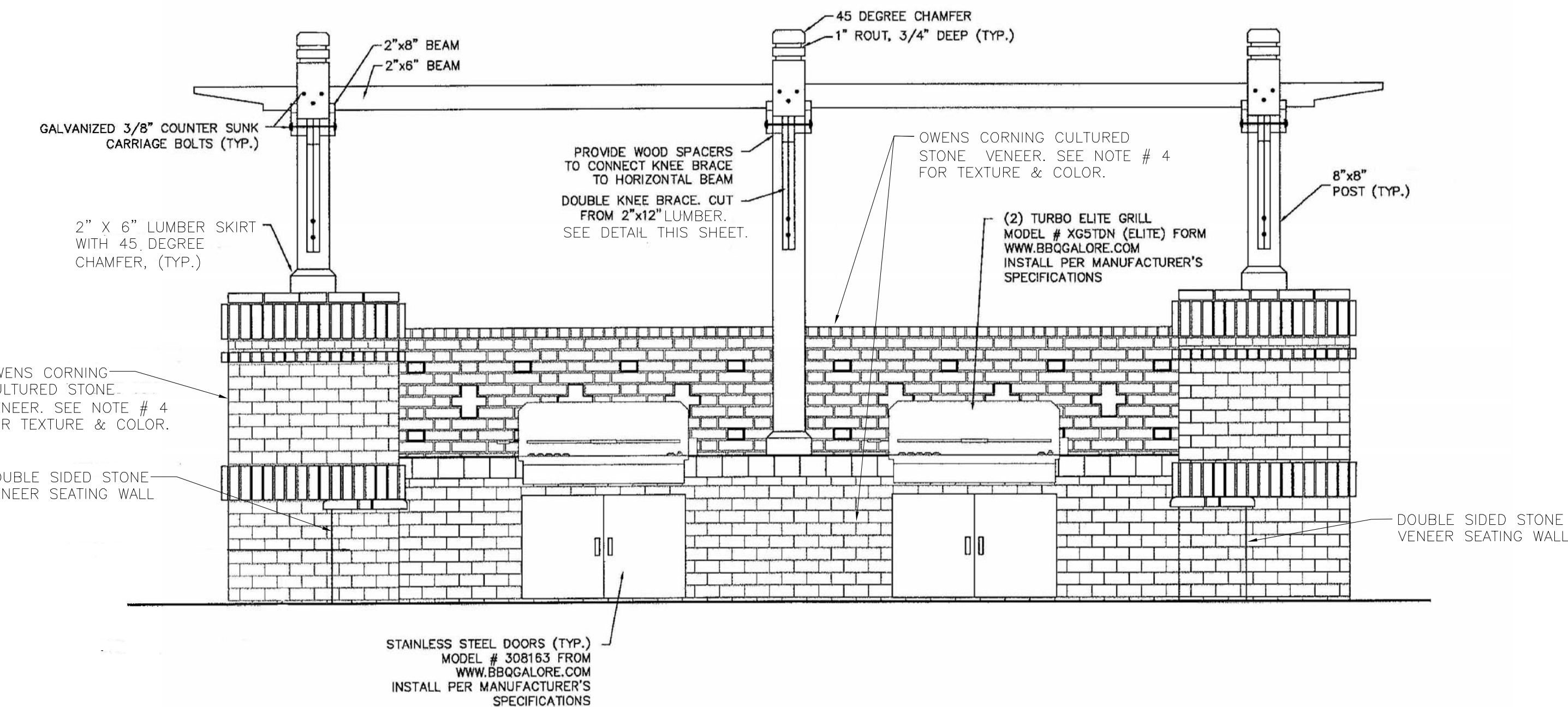
NOT TO SCALE



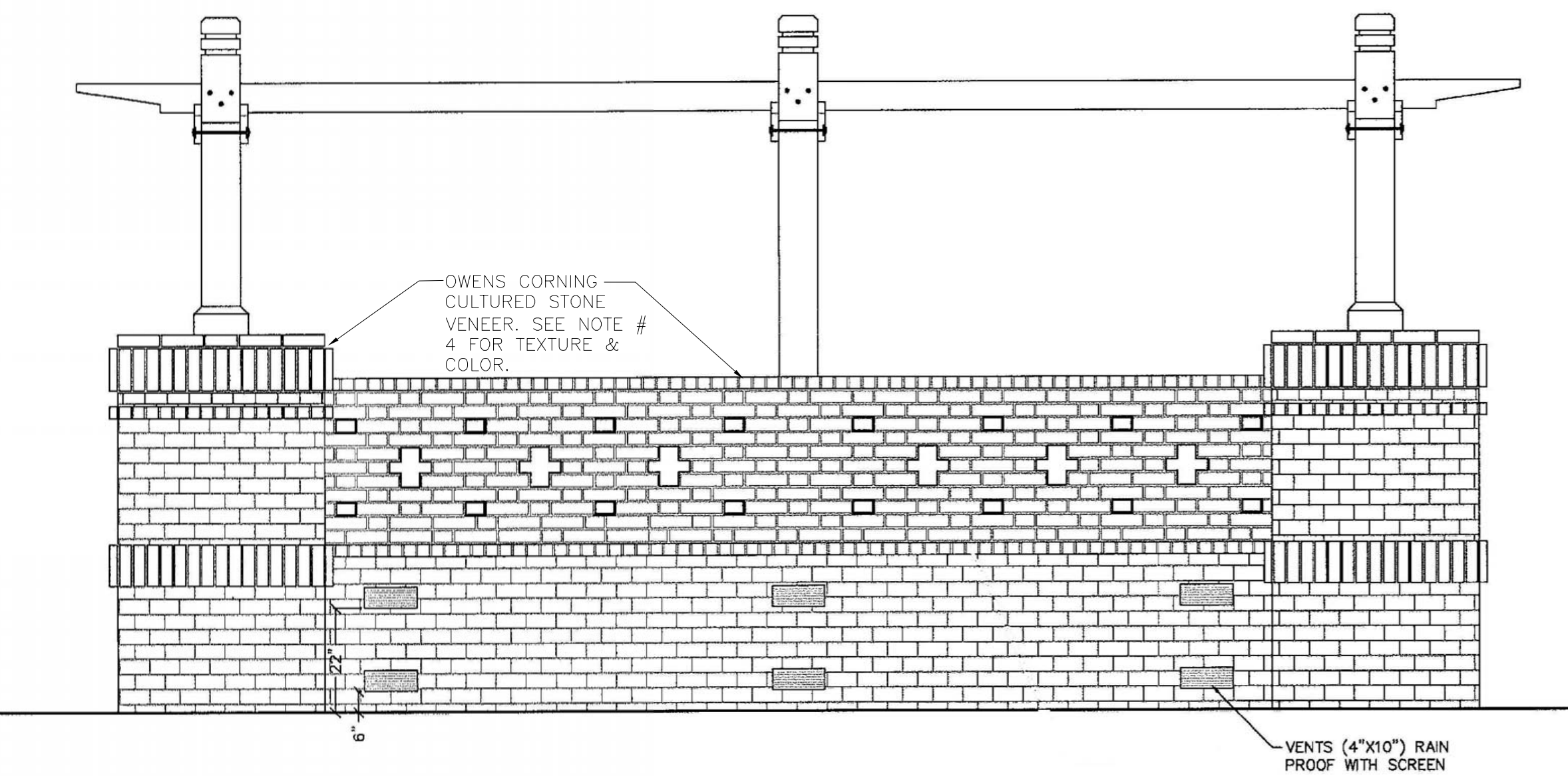
SECTION AA



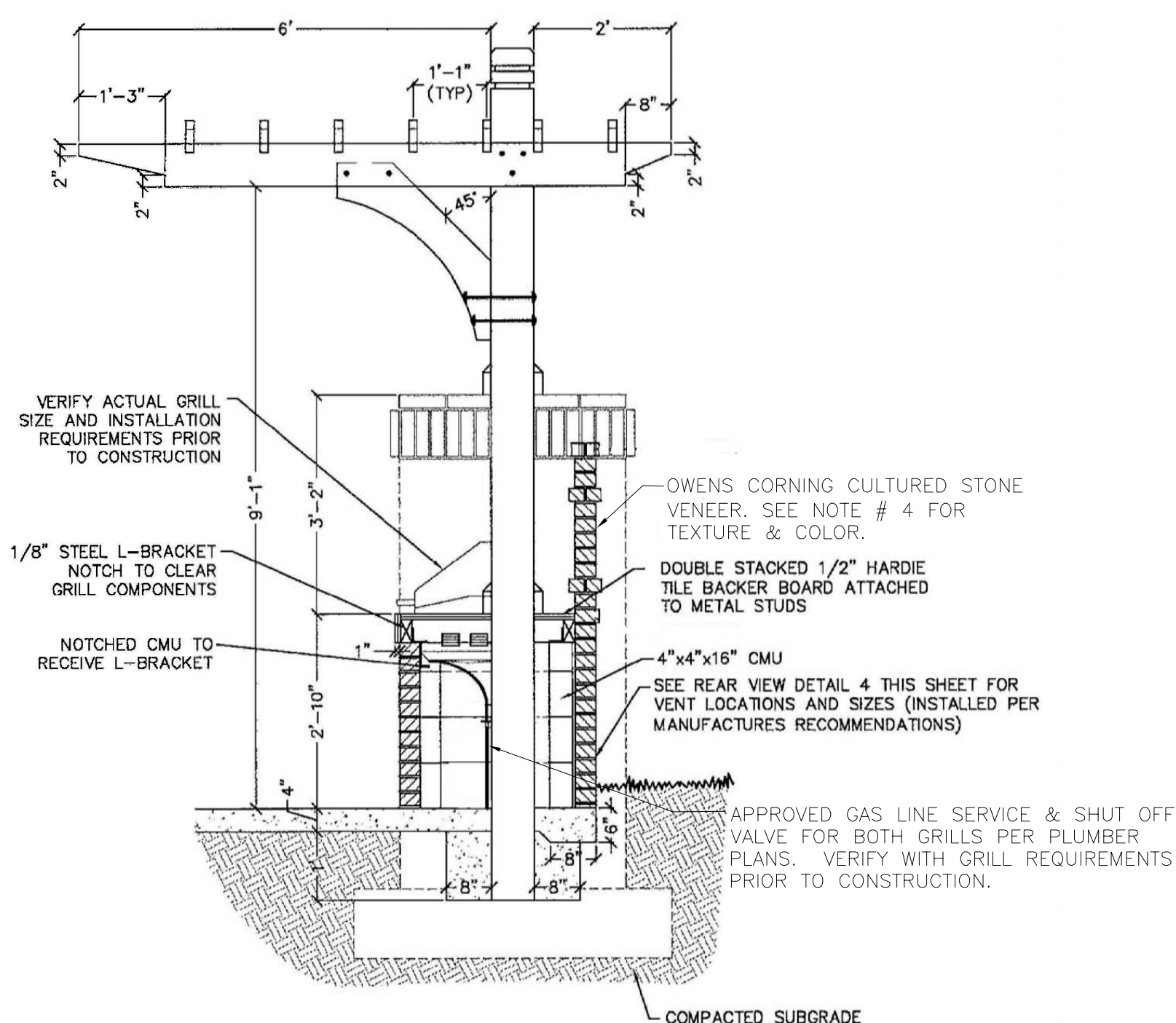
SECTION BB



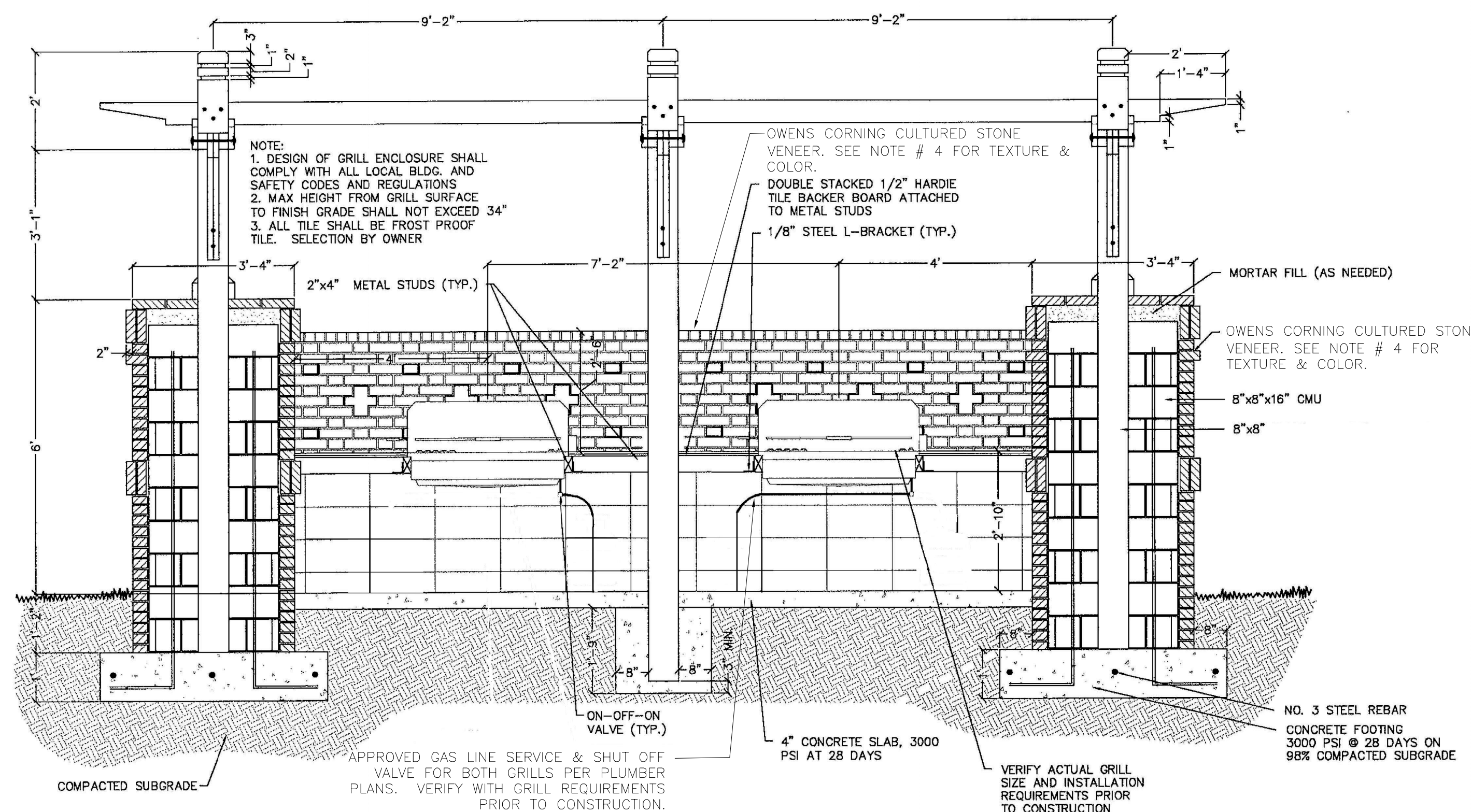
KITCHEN GRILL AREA FRONT ELEVATION



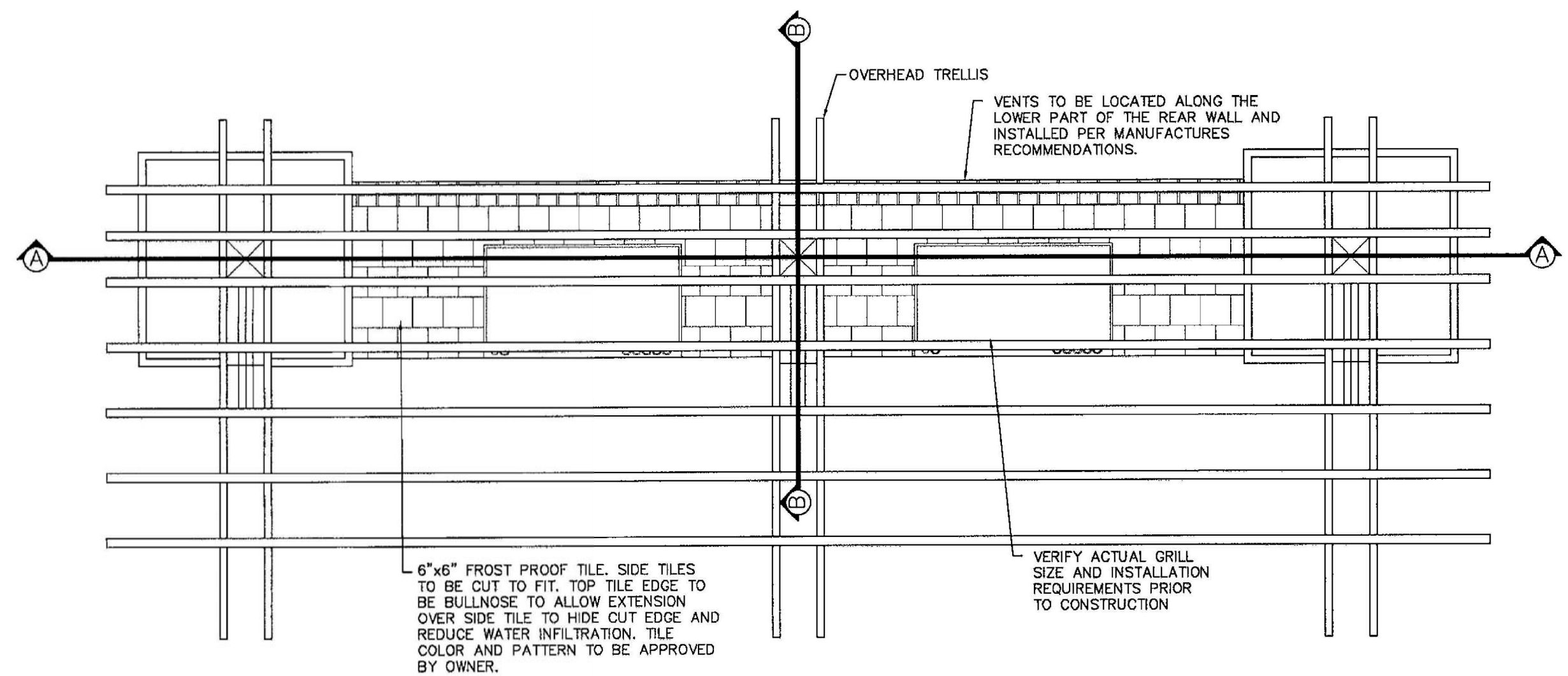
KITCHEN GRILL AREA REAR ELEVATION



KITCHEN GRILL AREA SECTION B-B



KITCHEN GRILL AREA SECTION A-A



KITCHEN GRILL AREA PLAN VIEW

NOTES:

1. 34" MAX TO TOP OF GRILL SURFACE, CONTROLS, COUNTER TOP, AND ANY AND ALL WORK SURFACES. KITCHEN AREA TO COMPLY WITH BOTH MA AAB & FEDERAL ADA CODES FOR ACCESSIBILITY.
2. PRIOR TO FABRICATION OF COUNTER INSERT FOR GRILL, CONTRACTOR TO VERIFY INSTALLATION SPECIFICATIONS WITH GRILL MANUFACTURER.
3. KITCHEN AREA WALL INSTALLATION TO BE COORDINATED WITH PERGOLA AND PERGOLA FOOTING CONTRACTORS.
4. STONE VENEER TO BE OWENINGS CORNING CULTURED STONE; COLOR BUCKS COUNTY 80%, SOUTHERN LEDGESTONE 20%, DRESSED FIELDSTONE; MODEL CSV-2056 / CSV-2030. PROVIDE OWNER WITH SAMPLE AND SHOP DRAWING FOR APPROVAL.
5. ALL PERGOLA WOOD TO BE KILN DRIED WESTERN RED CEDAR GRADE A. ALL WOOD OF PERGOLA TO BE PAINTED. PROVIDE OWNER WITH COLOR SAMPLES FOR FINAL APPROVAL OF COLOR.
6. PERGOLA STRUCTURE & WALLS INCLUDING PERGOLA FASTNERS, AND FOOTING TO BE REVIEWED AS A SHOP DRAWING, AND APPROVED BY STRUCTURAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS AND AT CONTRACTOR COST. CONTRACTOR TO INCORPORATE ANY NECESSARY REVISIONS.

KITCHEN GRILL AREA

NOT TO SCALE

3

CUBE 3

architecture interiors planning
360 Merrimack Street Lawrence, MA 01843
phone: 978.989.9900 www.cube3studio.com

Mill Street Residential & Retail Development

30-50 Mill Street
Arlington, MA

WP East Development Enterprises, LLC

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA

ALLEN & MAJOR ASSOCIATES, INC.

ALLEN & MAJOR ASSOCIATES, INC. is a professional engineering and architectural firm serving the Greater Boston area. We are a full-service firm with a focus on commercial, industrial, and institutional projects. Our team consists of highly skilled professionals with extensive experience in the design and construction of a wide range of projects. We are committed to providing our clients with the highest quality of service and the most innovative solutions to their problems.

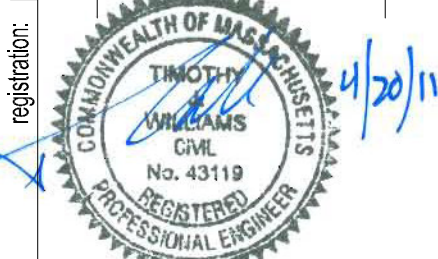
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Permit - GMP Set

NOT FOR CONSTRUCTION

| | | |
|---------------------|-------------|------|
| drawing by: | BDJ, RB | |
| drawing checked by: | TJW | |
| drawing scale: | NTS | |
| drawing date: | 03.15.10 | |
| drawing revisions: | | |
| project number: | 1670-01 | |
| rev. | description | date |

| | | |
|----|---------------------------------|----------|
| 11 | PERMIT-GMP SET | 04-20-11 |
| 10 | MVRA 8M PERMIT | 03-08-11 |
| 9 | 50% ARB SUBMISSION | 03-04-11 |
| 8 | SECTION 8.12(11) SPECIAL PERMIT | 02-17-11 |
| 7 | PER TOWN COMMENTS | 01-11-11 |
| 6 | PER CON. COM. COMMENTS | 12-13-10 |
| 5 | PER PD COMMENTS | 12-08-10 |
| 4 | PER TOWN COMMENTS | 11-17-10 |
| 3 | PER TOWN COMMENTS | 10-27-10 |
| 2 | PER TOWN COMMENTS | 10-20-10 |
| 1 | PER TOWN COMMENTS | 06-16-10 |



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

Details

D-11

**Mill Street
Residential &
Retail Development**

30-50 Mill Street
Arlington, MA

**WP East
Development
Enterprises, LLC**

One Concord Farms
490 Virginia Road, Suite 2
Concord, MA



**ALLEN & MAJOR
ASSOCIATES, INC.**
civil & structural engineering • retail • commercial
environmental • construction • landscape architecture
interior design • historic preservation • planning
100 CONCORD AVENUE
CONCORD, MA 01734
TEL: 978.366.0000
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Permit - GMP Set

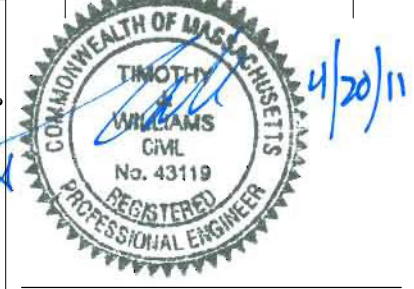
**NOT FOR
CONSTRUCTION**

drawing by: BDJ, RB
drawing checked by: TJW
drawing scale: NTS
drawing date: 03.15.10

drawing revision:
project number: 1670-01

rev. description date

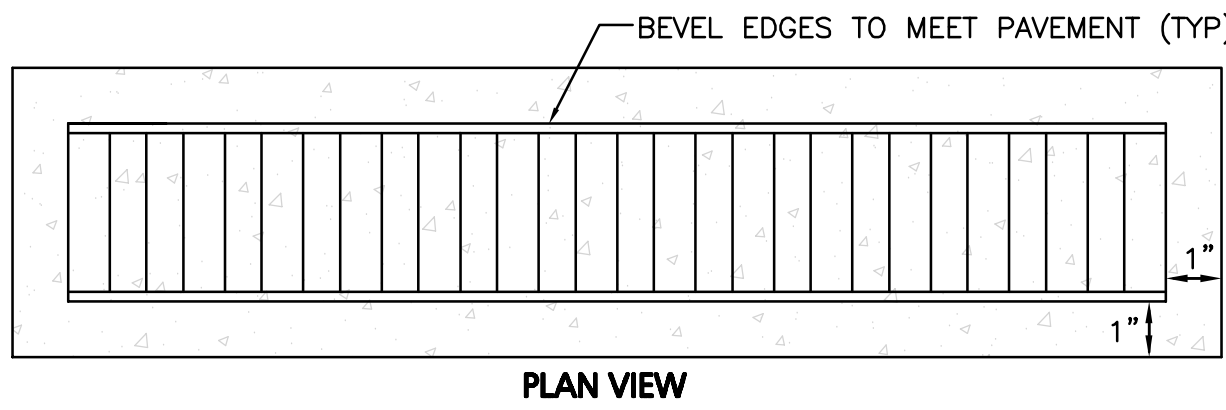
| | | |
|----|---------------------------------|----------|
| 11 | PERMIT-GMP SET | 04-20-11 |
| 10 | MVRA 8M PERMIT | 03-08-11 |
| 9 | 50% ARS SUBMISSION | 03-04-11 |
| 8 | SECTION 8.12A(1) SPECIAL PERMIT | 02-17-11 |
| 7 | PER TOWN COMMENTS | 01-11-11 |
| 6 | PER CON. COM. COMMENTS | 12-13-10 |
| 5 | PER PD COMMENTS | 12-08-10 |
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| 3 | PER TOWN COMMENTS | 10-27-10 |
| 2 | PER TOWN COMMENTS | 10-20-10 |
| 1 | PER TOWN COMMENTS | 06-16-10 |



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

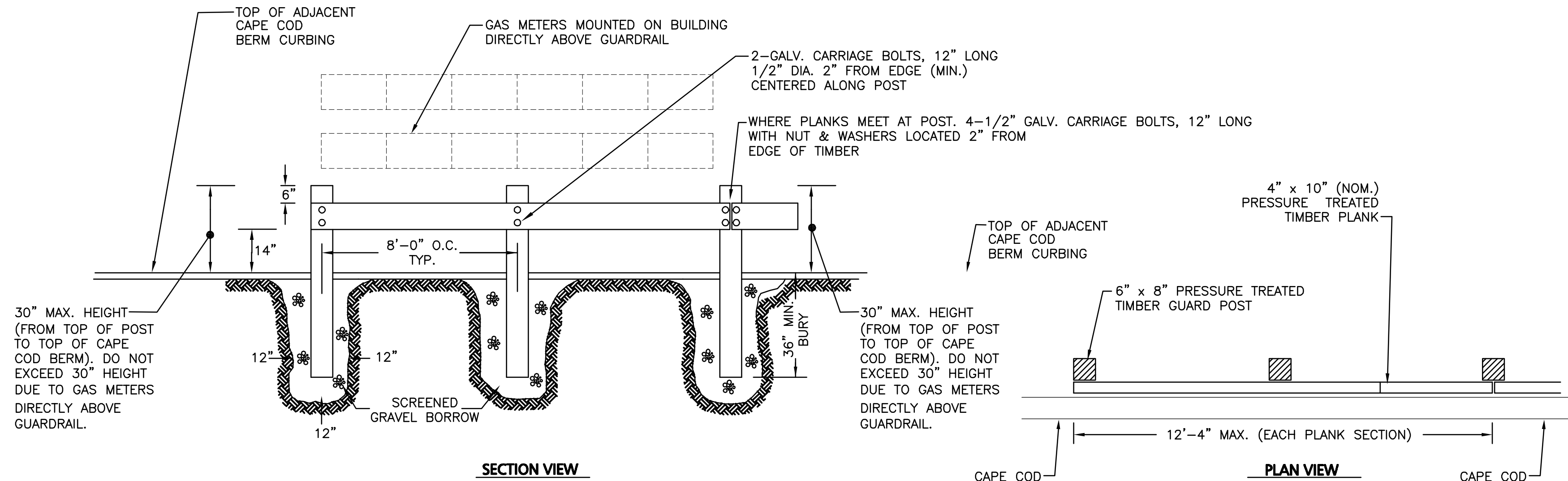
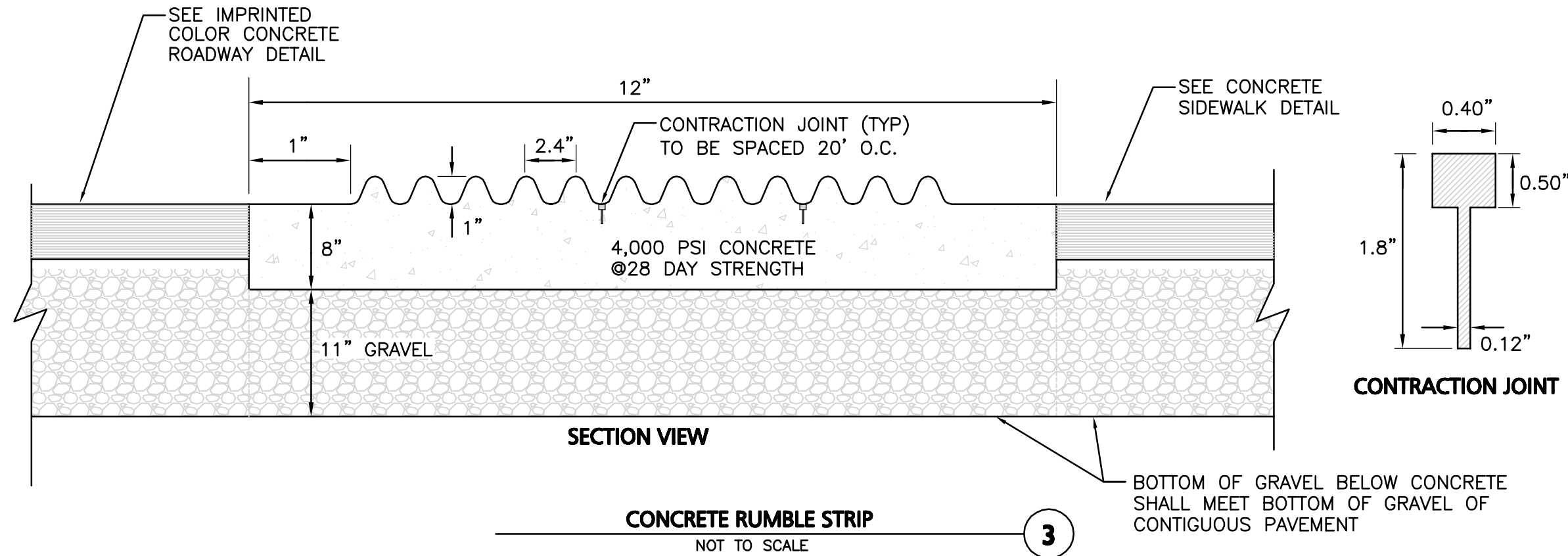
Details

D-12



NOTES:

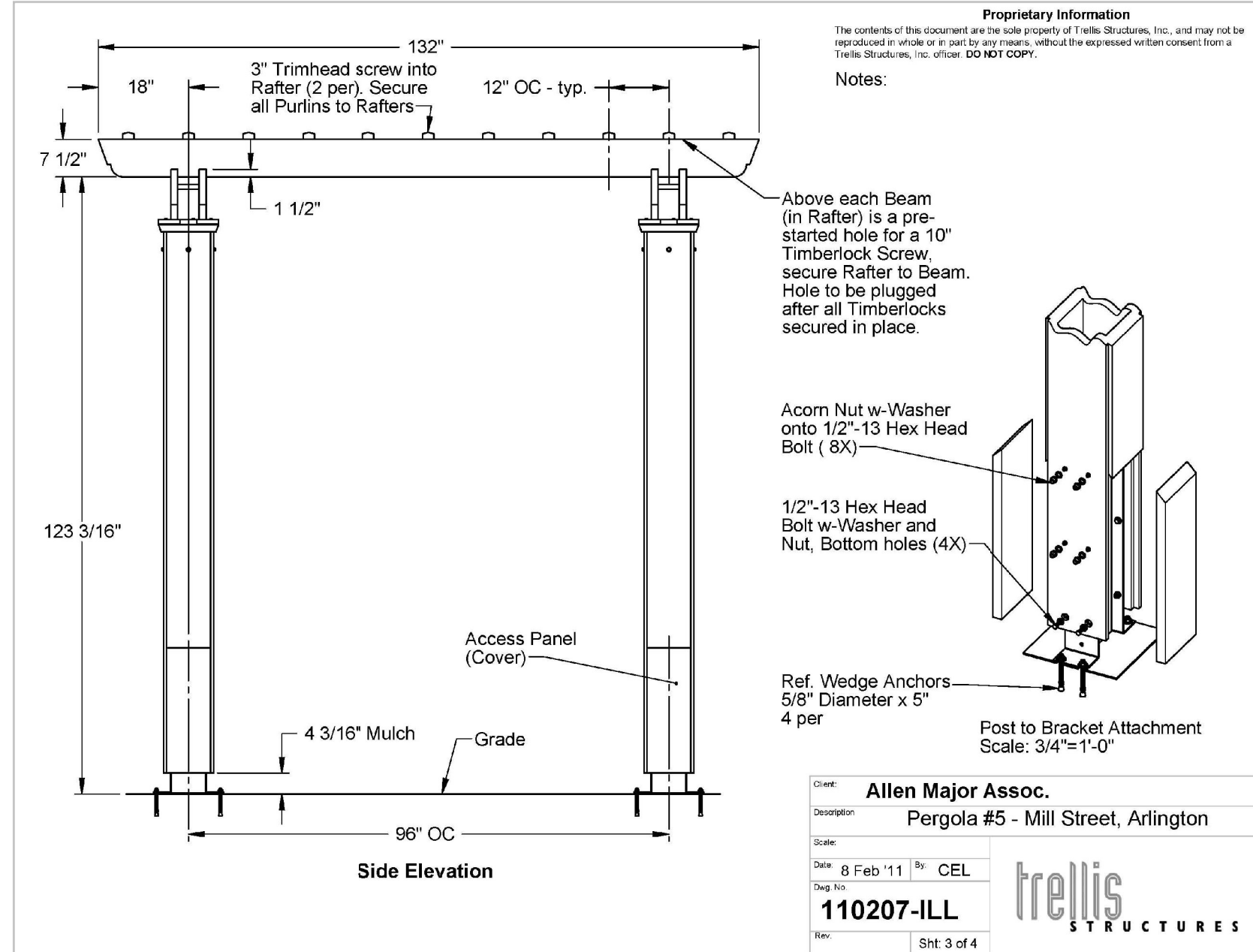
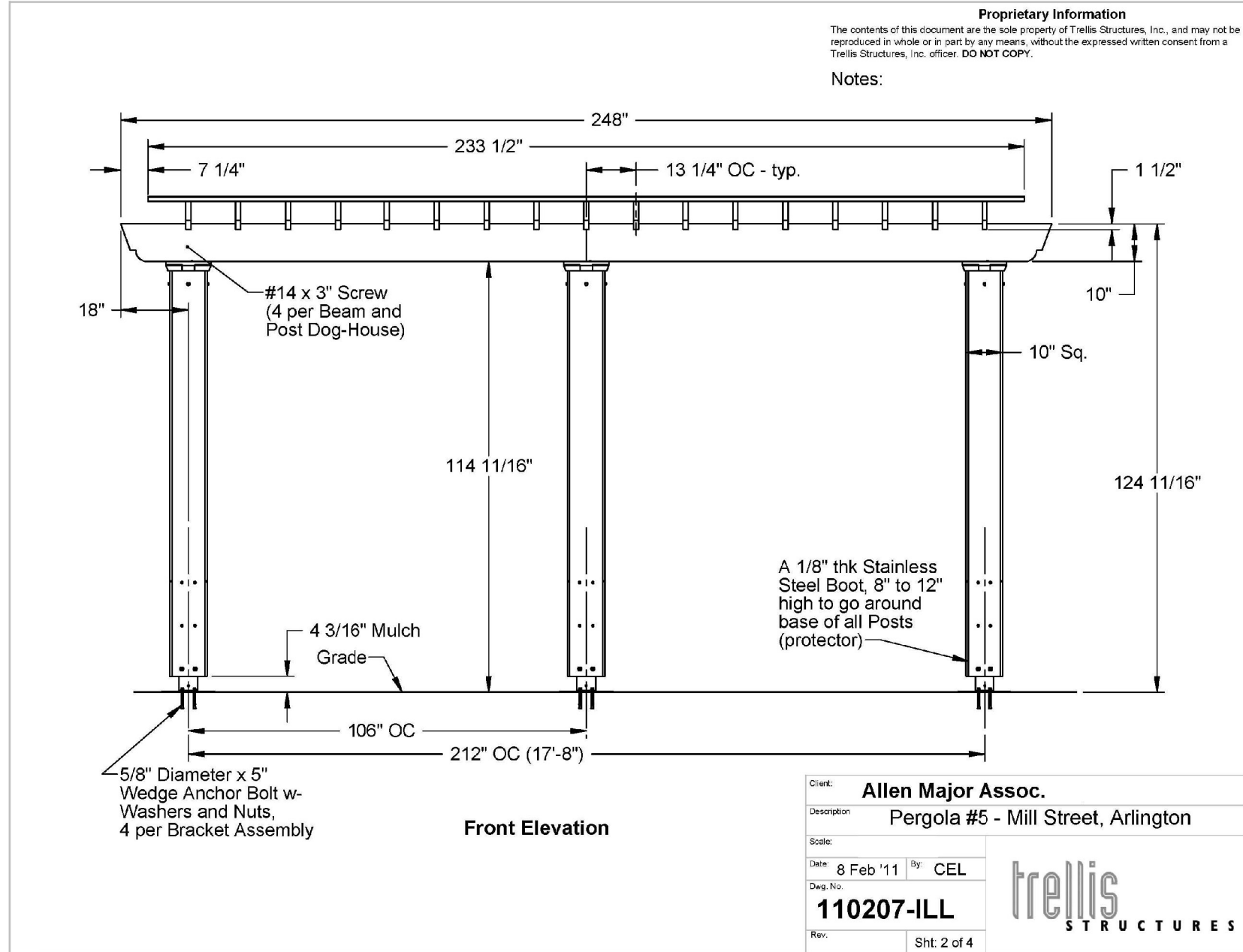
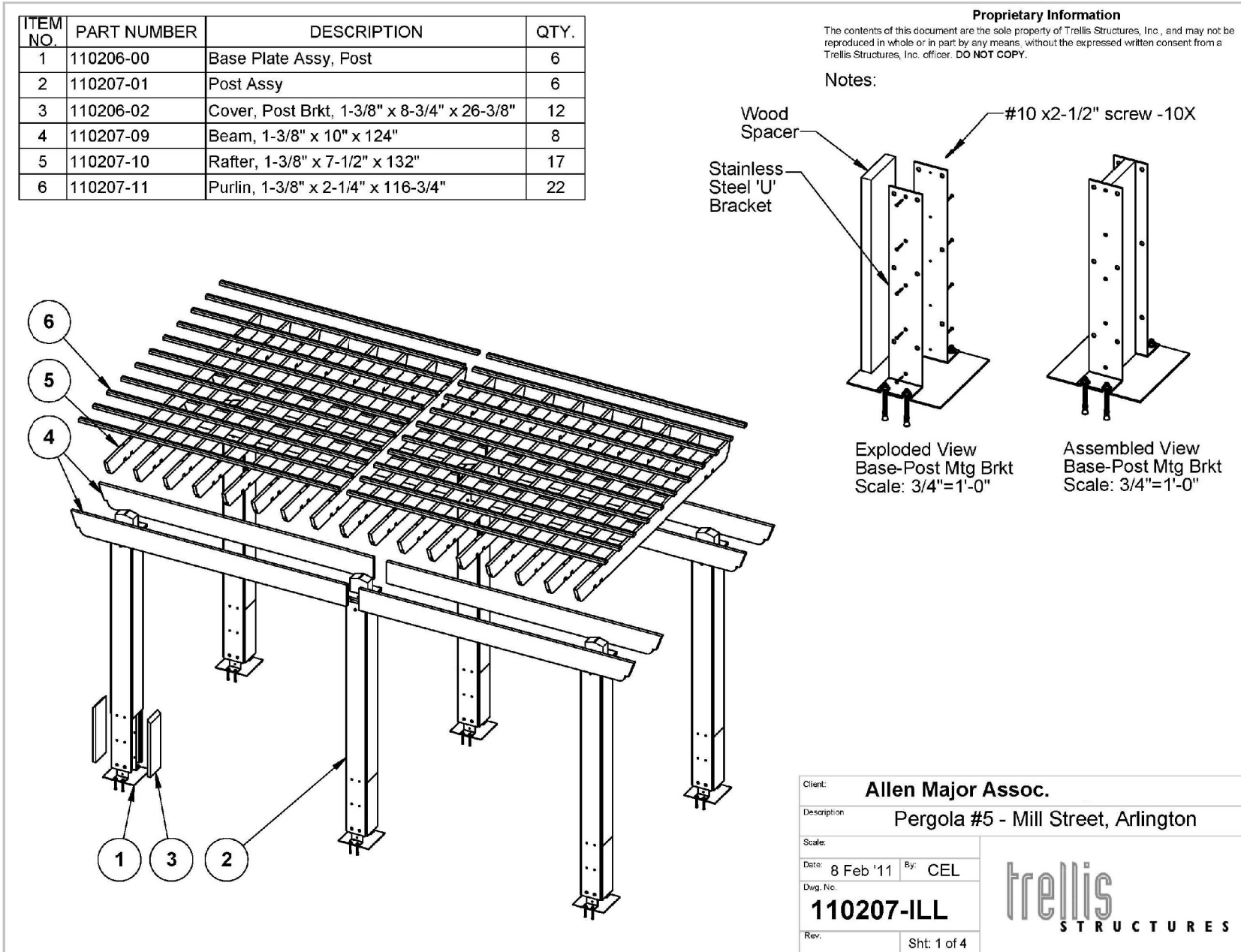
1. CONTRACTION JOINTS TO BE SPACED MAX. 20' APART.
2. CONTRACTION JOINTS ARE TO BE SAWED AND LOCATED IN THE DEPRESSIONS OF THE CORRUGATIONS.
3. END OF CORRUGATED RIDGES TO BE BEVELED.



NOTES:

1. ALL PRESSURE TREATED TIMBERS SHALL BE SOUTHERN YELLOW PINE TREATED WITH CAA AND HAVE A MINIMUM 0.60 RETENTION. PRESSURE TREATED TIMBERS SHALL BE "SUPATIMBER" BY CHEMICAL SPECIALTIES, INC., CHARLOTTE, NC OR EQUAL.

WOOD GUARDRAIL
NOT TO SCALE

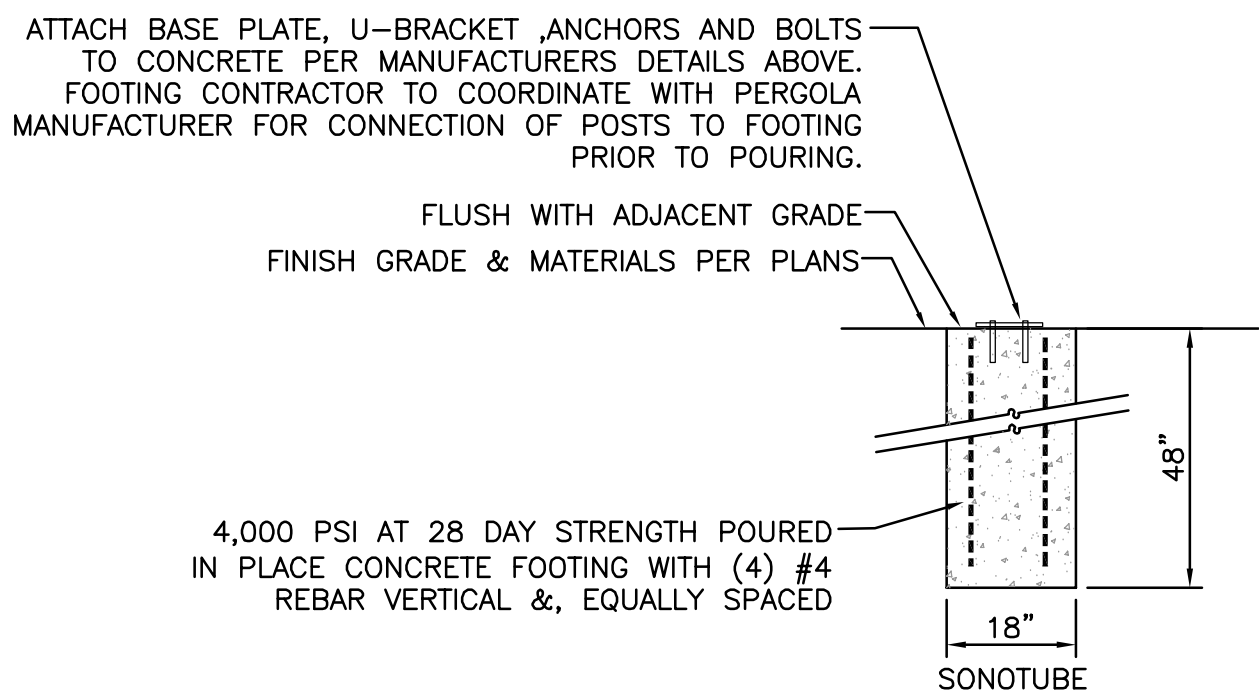


**WOODEN PERGOLA #5
(PERGOLAS #1 , 3, & 4 ARE SIMILAR CONSTRUCTION TO #5
WITH VARYING TOTAL LENGTHS AND WIDTHS)**

NOTES:

1. PERGOLAS BY "TRELLIS STRUCTURES"; 25 NORTH MAIN STREET, REAR, PO BOX 48 E. TEMPLETON, MA 01438 P. 978-630-8725.
2. ALL PERGOLA WOOD TO BE KILN DRIED WESTERN RED CEDAR GRADE A. ALL WOOD OF PERGOLA TO BE PAINTED. PROVIDE OWNER WITH COLOR SAMPLES FOR FINAL APPROVAL OF COLOR.
3. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
4. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.
5. PERGOLA STRUCTURE INCLUDING FASTNERS, AND FOOTING TO BE REVIEWED, AND APPROVED BY STRUCTURAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS, AND AT CONTRACTORS COST. CONTRACTOR TO INCORPORATE ANY NECESSARY REVISIONS.
6. PERGOLA CONTRACTOR TO COORDINATE PERGOLA INSTALLATION WITH ADJACENT LIGHTING, PERGOLA FOOTING, AND WALL INSTALLATIONS.

WOODEN PERGOLA STRUCTURES
NOT TO SCALE



NOTES:

1. INSTALL FOOTING PER MANUFACTURERS & STRUCTURAL ENGINEER RECOMMENDATIONS.
2. PROVIDE SHOP DRAWINGS FOR APPROVAL OF TRELLIS STRUCTURE INCLUDING FASTNERS, AND FOOTING TO BE REVIEWED AND STAMPED BY STRUCTURAL ENGINEER PROVIDED BY CONTRACTOR AND LICENSED IN THE STATE OF MASSACHUSETTS PRIOR TO CONSTRUCTION.

PERGOLA FOOTING
NOT TO SCALE

APPROVAL FROM THE FOLLOWING SECTIONS OF THE TOWN OF ARLINGTON ZONING BYLAW HAS BEEN GRANTED:

SECTION 6.00 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

- MINIMUM LOT FRONTAGE
- MAXIMUM BUILDING HEIGHT/STORIES

SECTION 8.12 A(11) - PARKING & LOADING SPACE STANDARDS (ARB)

SECTION 11.04 - FLOODPLAIN DISTRICT (ZBA)

SECTION 11.06 - ENVIRONMENTAL DESIGN REV. (ARB)